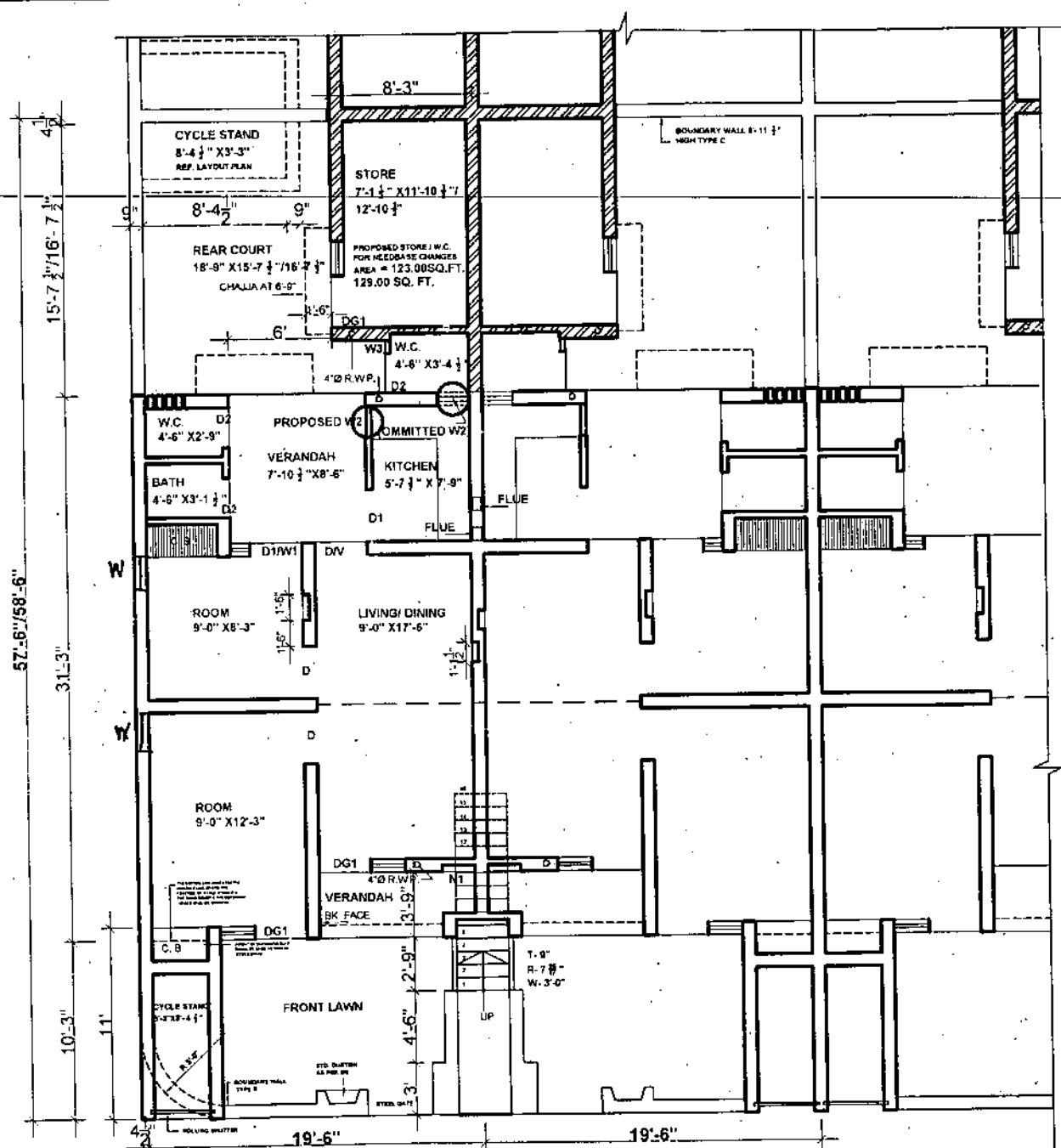


CHANDIGARH HOUSING BOARD

- Notes:-
1. THIS DRG. IS COMPLEMENTARY TO DRG. NO. _____ OF JOB NO. _____ AND FORMS PART OF THE SET OF DRGS. ILLUSTRATING THE STANDARD DESIGN APPLICABLE TO SUCH ATMS AND AREAS AS PER INDICATED ON THE RESPECTIVE ZONING PLANS FOR THE CONSTRUCTION OF _____ HOUSING CONSTRUCTION BY CHB.
 2. THE DRAWING IS THE PROPERTY OF THE CHANDIGARH HOUSING BOARD AND MUST NOT BE COPIED, REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE CHANDIGARH HOUSING BOARD.
 3. NO RASH WATER PIPE, SINK, PIPES, DRAINAGE PIPE OR ANY OTHER PIPING WORK SHALL BE EXPOSED TO VIEW ON ANY SIDE OF THE BUILDING.
 4. NO UNLINED RECEPTION OF ANY SORT LIKE THE GANNA, SHANTHA ETC. SHALL BE PERMITTED ON THE RETRANSA. FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
 5. INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHB HOUSING BOARD.
 6. NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AN OTHER USES INDICATED.
 7. USUALLY PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEE IN ACCORDANCE WITH THIS STANDARD DESIGN.
 8. THE STANDARD DESIGN SHEET ILLUSTRATE THE STANDARD DESIGN AND THE MINIMUM PERMISSIBLE SIZE OF CHANGE IN SUBJECT OF THESE HOUSES.
 9. THE COST OF COMMON WALLS SHALL BE SHARED PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
 10. NO ADVERTISEMENT IN WHATEVER FORM OR MANNER, WHETHER THE NAME OF THE FRANCHISE OR FIRM SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE MESSAGE OF THE PROMOTER DISPLAYED IN PRINTED LETTERS OR SPACES ASSIGNED FOR THE PURPOSES.
 11. NO CANTILEVER, CHAJJA OR ARCHITECTURE OR BAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
 12. THE EXTERNAL FACE OF THE BRICK MASONRY OF EXTERNAL WALL SHALL BE FINISHED IN BRICK STUCCO OR SURFICIAL POINTING/PARTING OF ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE WALL, CHAJJA ETC.
 13. DESIGN WITH TILES & BRICKS OR APPLIED DECORATION IN PLASTER ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING.
 14. BALCONY OR TERRACE IN THE EXTERNAL FACADES SHALL NOT BE ALLOWED.
 15. ALL DOORS & WINDOWS SHALL BE IN ROOMS SHALL CONFORM TO SIZE AS INDICATED IN THE SCHEDULE OF JOINTS.
 16. THE PROPOSED PU FLOOR SHALL BE A SINGLE STONEY CONG.
 17. LATER THE IMPLEMENTING ANY CONSTRUCTION TO THE STANDARD DRG. SHALL NOT HARMOTHER FROM THE CASE. THROUGH THE ABOVE QUALIFIED ARCHITECT WHO SHALL ALSO SUPERVISE THE CONSTRUCTION.

Joinery of future Const.
 CILLUM.
 DG1 - 5'-0" X 6'-9"
 W2 - 1'-9" X 3'-9" - 3'-0"
 W - 2'-6" X 4'-6" - 2'-3"



GROUND FLOOR PLAN

NOTE
 THIS DRG. IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET/ STORE ALLOWED UNDER NEEDBASE CHANGES 23-3-2010
 THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 NEEDBASE CHANGES 23-03-2010 IS MARKED ON THE DRG. BASED ON APPROVED DRG. NO 1 JOB NO 2139 ALONG WITH R.W.P. DISPOSAL.
 FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 1 JOB NO. 2139

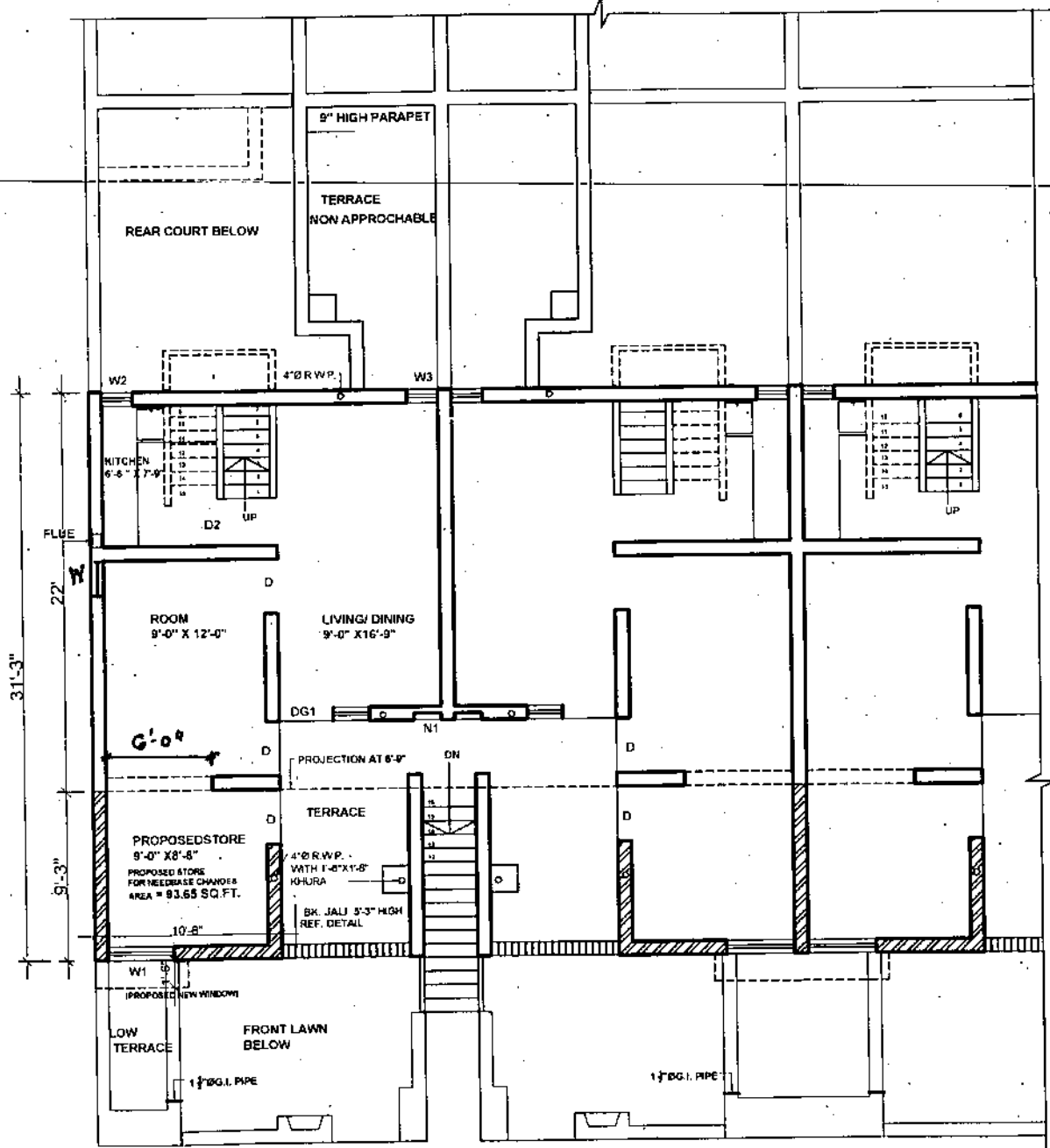
	Chief Architect.	Senior Architect.
Civil Engineer.	Superintending Engineer CHB.	Architect. CHB.
Structure Engineer.	SCALE: <i>1/4" = 1'-0"</i> DRAWN BY: <i>Vijay Gulena</i> PLANNING ASSTT. <i>Prakash</i>	DATE: 2139 JOB NO. 3 DRG. NO.
Elect. Engineer.	STANDARD DESIGN OF NEED BASED CHANGES FOR L.I.G. UPPER FLATS SECTOR 29 - B & 40 - A CHANDIGARH GROUND FLOOR PLAN	
Fire Fighting.		
Ph. Engineer.		

CHANDIGARH HOUSING BOARD

- Notes:-**
- 1) THIS DRG. IS COMPLIANT TO THE... OF JOB NO. ... AND FORMS PART OF THE SET OF DRG. ILLUSTRATING THE STANDARD DESIGN APPLICABLE TO SUCH SITES AND AREAS AS PER INDICATED ON THE RESPECTIVE ZONING PLANS FOR THE CONSTRUCTION OF ... HOUSES CONSTRUCTED BY CHB.
 - 2) THIS DRAWING IS THE PROPERTY OF THE CHB AND MUST NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
 - 3) NO SIGN, WATER PIPE, GAS, PPL, VENTILATING PIPE OR ANY OTHER PLUMBING WORK SHALL BE EXPOSED TO VIEW ON ANY FACE OF THE BUILDING.
 - 4) NO APPROXIMATION OF ANY SORT LIKE THE CORNER, BENT, ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
 - 5) NO INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHB HOUSING BOARD.
 - 6) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHER WERE INDICATED.
 - 7) UNPAID PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEE IN ACCORDANCE WITH THE STANDARD DESIGN.
 - 8) THE STANDARD DESIGN SHEET ILLUSTRATES THE STANDARD DESIGN AND THE ALLOTTEE SHALL MAINTAIN THE SAME IN ALL RESPECTS OF THE HOUSE.
 - 9) THE COST OF COMMON WALLS SHALL BE Borne PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
 - 10) NO ALTERATION IN WHAT SO EVER FORWARD OR BACKWARD FROM THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE FLOORS IS INDICATED IN PLANNED HOUSES OR SPACE RESERVED FOR THE PURPOSES.
 - 11) NO CHIMNEYS, CHAJJA OR ARCHITRAVE OR BAY SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
 - 12) THE EXTERNAL FACE OF THE BACK BOUNDARY OR EXTERNAL WALL SHALL BE FINISHED BY DRY STONE LIME MASONRY, PORTLAND CEMENT OR ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING ETC.
 - 13) IN CASE A FINISH IS APPLICABLE IN PLASTER ETC. FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING. ALSO FINISH ON THE EXTERNAL FACINGS SHALL BE ALLOWED.
 - 14) ALL DOORS & WINDOWS SHALL BE IN HOUSE SHALL COMPOSE TO ROOM AS INDICATED IN THE SCHEDULE OF JOINTS.
 - 15) THE PROPOSED ROOM IS A SINGLE STOREY ROOM.
 - 16) BEFORE UNDERTAKING ANY CONSTRUCTION THE STANDARD SHALL HAVE BEEN OBTAINED FROM THE CHB THROUGH THE ROOM SHAWER ARCHITECT WHO SHALL ALSO SUPERVISE THE CONSTRUCTION.

Joinery of future Const.

D - 3'-0" X 6'-9" C/U Lvh.
 W₁ - 3'-9" X 4'-0" - 2'-9"
 W - 2'-6" X 4'-6" - 2'-3"



FIRST FLOOR PLAN

NOTE

THIS DRG. IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET/ STORE ALLOWED UNDER NEEDBASE CHANGES 23-3-2010

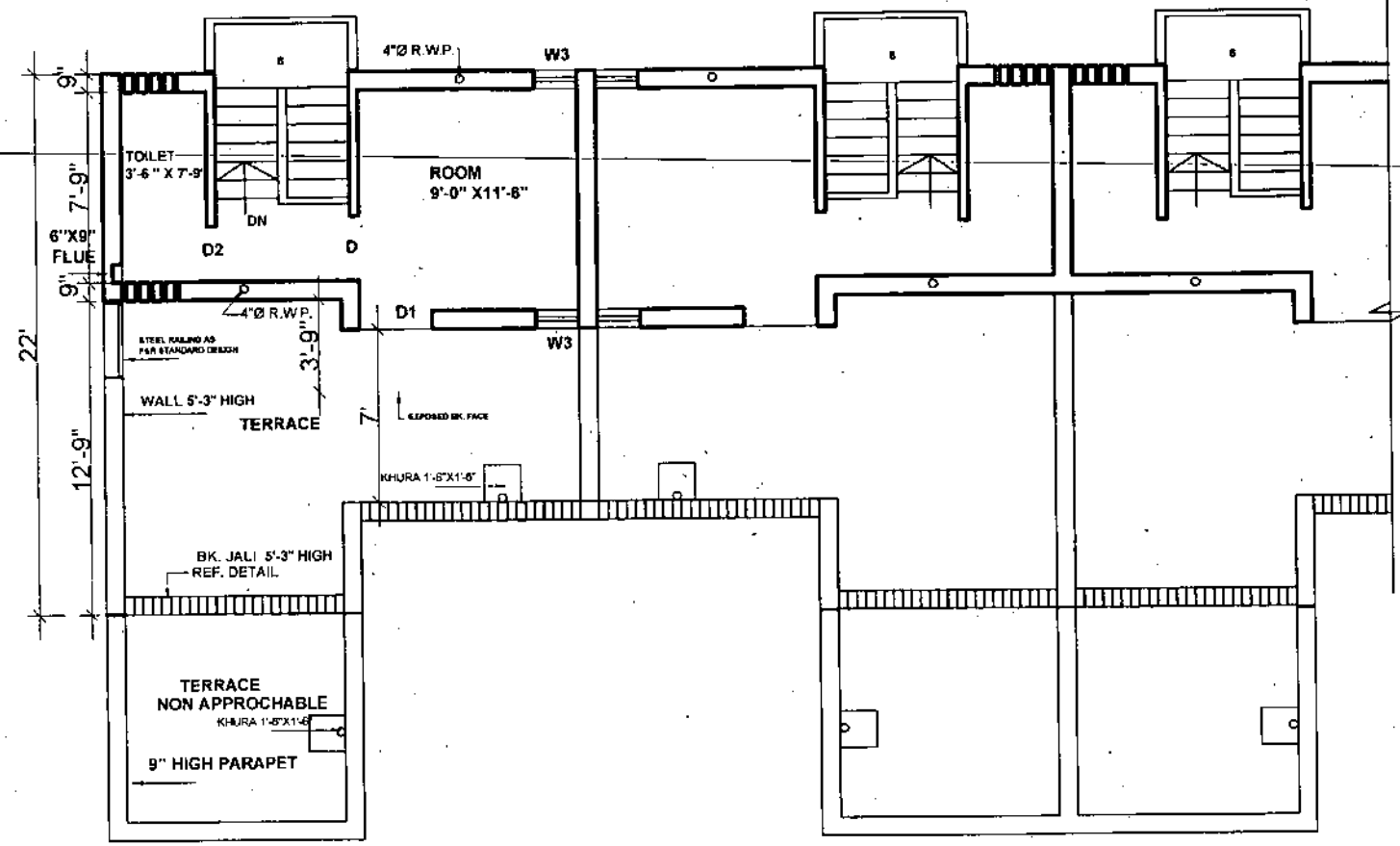
THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 NEEDBASE CHANGES 23-03-2010 IS MARKED ON THE DRG. BASED ON APPROVED DRG. NO. 1 JOB NO. 2139 ALONG WITH R.W.P. DISPOSAL. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 1 JOB NO. 2139

Chief Architect.	Senior Architect.
Civil Engineer.	Superintending Engineer CHB.
Structure Engineer	SCALE: <i>Vijay Guleria</i> DRAWN BY: <i>Vijay Guleria</i> (Shaah Tharur) PLANNING ASST. <i>Shah</i>
Elect. Engineer.	DATE: --
Fire Fighting.	2139 JOB NO.
Ph. Engineer.	4 DRG. NO.

STANDARD DESIGN OF NEED BASED CHANGES FOR L.I.G. UPPER FLATS SECTOR 29 - B, 40 & 40-A CHANDIGARH FIRST FLOOR PLAN

CHANDIGARH HOUSING BOARD

- Notes:-**
- 1) THIS DRG. IS COMPLIANT TO DRG. NO. ... AND PART OF THE SET OF DRG. ALIENING THE STANDARD DESIGN APPLICABLE TO SUCH AREA AS PER INDICATED ON THE RESPECTIVE DESIGN PLANS FOR THE CONSTRUCTION BY THE CONTRACTOR BY THE.
 - 2) THE DRAWING IS THE PROPERTY OF THE CHANDIGARH HOUSING BOARD AND MUST NOT BE COPIED, ALTERED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
 - 3) NO PART OF THE DRAWING SHALL BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CHANDIGARH HOUSING BOARD.
 - 4) NO PART OF THE DRAWING SHALL BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CHANDIGARH HOUSING BOARD.
 - 5) NO PART OF THE DRAWING SHALL BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CHANDIGARH HOUSING BOARD.
 - 6) NO PART OF THE DRAWING SHALL BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CHANDIGARH HOUSING BOARD.
 - 7) UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE IN METERS.
 - 8) THE STANDARD DESIGN SHEET IS SUBJECT TO THE STANDARD DESIGN AND THE MATERIAL SPECIFICATIONS ARE TO BE AS PER THE RESPECTIVE DRAWINGS.
 - 9) THE COST OF CONSTRUCTION SHALL BE BORNE PRO-RATA BY THE RESPECTIVE ALLOTTEE.
 - 10) NO ADVERTISEMENT OR NOTICE OF ANY KIND SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE PREMISES DISPLAYED IN PAINTED LETTERS ON SPACE RESERVED FOR THE PURPOSE.
 11. NO SIGN, LETTER, OR ARCHITECT'S NAME OR MARK SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE PREMISES DISPLAYED IN PAINTED LETTERS ON SPACE RESERVED FOR THE PURPOSE.
 12. THE EXTERNAL FACE OF THE BRICK PARAPET OF EXTERNAL WALL SHALL BE FINISHED IN BRICK STRETCH LINE WITH JOINTS FINISHED IN ANY OTHER FINISH AS PER THE STANDARD DESIGN SHEET.
 13. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE IN METERS.
 14. ALL ROOMS & PARTS SHALL BE IN ACCORDANCE WITH THE SCHEDULES OF WORKS.
 15. THE DIMENSIONS OF THE ROOMS SHALL BE AS PER THE SCHEDULES OF WORKS.
 16. THE DIMENSIONS OF THE ROOMS SHALL BE AS PER THE SCHEDULES OF WORKS.
 17. THE DIMENSIONS OF THE ROOMS SHALL BE AS PER THE SCHEDULES OF WORKS.
 18. THE DIMENSIONS OF THE ROOMS SHALL BE AS PER THE SCHEDULES OF WORKS.
 19. THE DIMENSIONS OF THE ROOMS SHALL BE AS PER THE SCHEDULES OF WORKS.
 20. THE DIMENSIONS OF THE ROOMS SHALL BE AS PER THE SCHEDULES OF WORKS.



SECOND FLOOR PLAN

NOTE

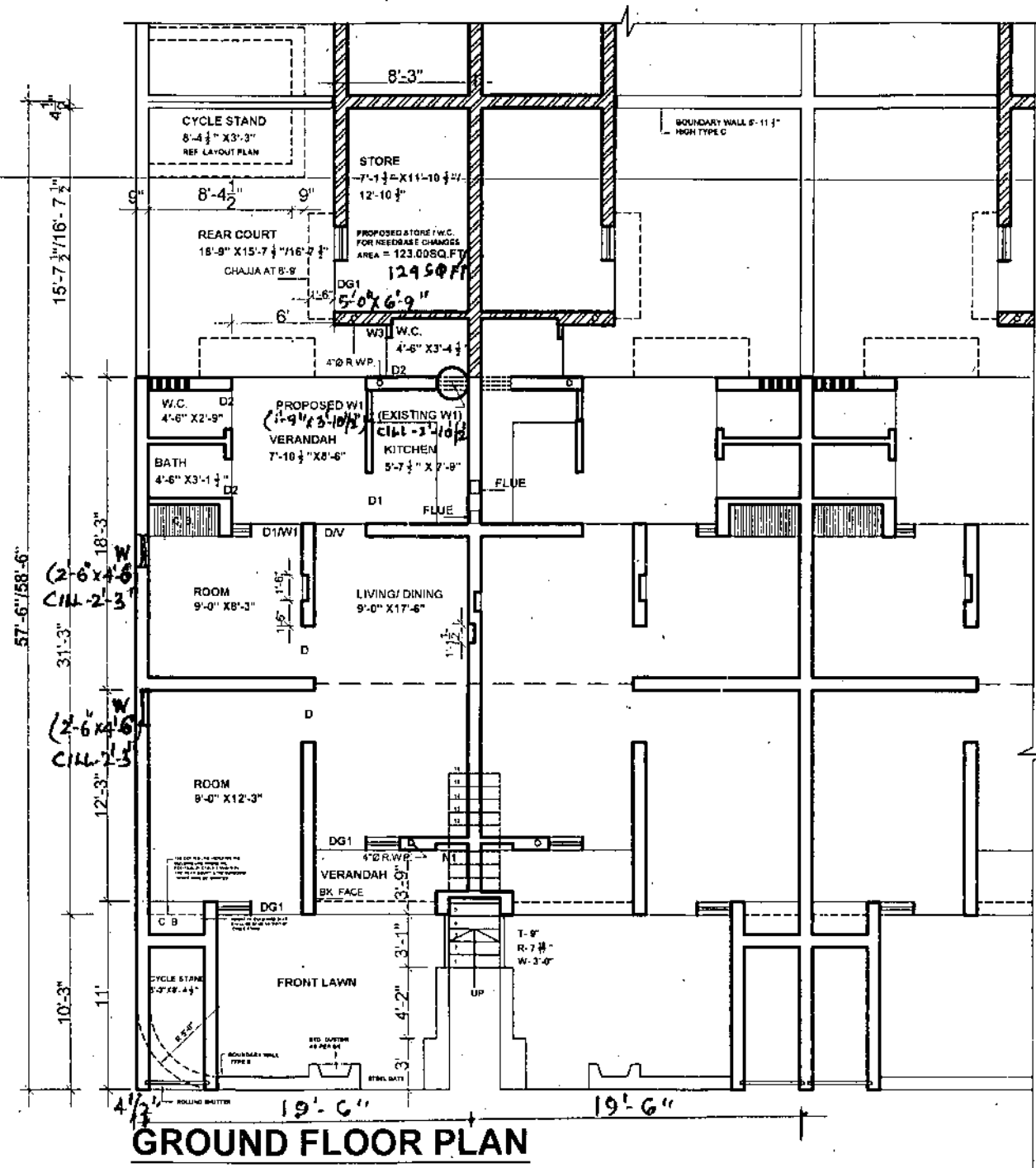
THIS DRG. IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET/ STORE ALLOWED UNDER NEEDBASE CHANGES 23-3-2010

THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 NEEDBASE CHANGES 23-03-2010 IS MARKED ON THE DRG. BASED ON APPROVED DRG. NO. 1 JOB NO 2139 ALONG WITH R.W.P. DISPOSAL. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 1 JOB NO. 2139

Chief Architect.	Senior Architect.
Civil Engineer.	SuperIntending Engineer CHB.
Structure Engineer.	SCALE: <i>1/4" = 1'-0"</i> DATE: ...
Elect. Engineer.	Drawn By: <i>Shashi Tarkun</i> (Shashi Tarkun) PLANNING ASST.
Fire Fighting.	2139 JOR NO. 5 DRG. NO.
Ph. Engineer.	STANDARD DESIGN OF NEED BASED CHANGES FOR L.I.G. UPPER FLATS SECTOR 29 - B & 40 - A CHANDIGARH SECOND FLOOR PLAN

CHANDIGARH HOUSING BOARD

- Notes:-**
- 1) THIS DRAWING IS CONFORMANT WITH THE CODE OF PRACTICE FOR THE DESIGN AND CONSTRUCTION OF HOUSES APPLICABLE TO SUCH RATES AND AREAS AS PER INDICATED ON THE APPLICABLE ZONING PLAN FOR THE CONSTRUCTION OF HOUSES CONSTRUCTED BY CHB.
 - 2) THIS DRAWING IS THE PROPERTY OF THE BOARD AND SHALL NOT BE COPIED, ALTERED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
 - 3) NO ROOM SHALL BE BUILT FOR VENTILATING PIPE OR ANY OTHER PLUMBING WORK WHICH IS EXPOSED TO VIEW ON ANY FACE OF THE BUILDING OR UNAPPLIED PROTECTION OF ANY SORT AND THE BUILDING SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
 - 4) NO PROJECTION SHALL BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHB HOUSING BOARD.
 - 5) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHER LAWS INDICATE.
 - 6) UNBUILT PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEE IN ACCORDANCE WITH THE STANDARD DESIGN.
 - 7) THIS STANDARD DESIGN SHALL ILLUSTRATE THE STANDARD DESIGN AND THE MAXIMUM PERMISSIBLE SITE COVERAGE IN RESPECT OF THE ALLOTTEE.
 - 8) THE CODE OF JOINTLY OWNED SHALL BE SHOWN PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
 - 9) NO ADVERTISEMENTS OR WHAT SO EVER FORMS OR IN ANY MANNER WHATSOEVER THE NAME OF THE PERSON OR FIRM SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE BUILDING SHOWN AS IN PAINTED NUMBERS ON THE FACE INDICATED FOR THE PURPOSES.
 - 10) NO EXTERIOR CHAJJA OR ARCHITECTURE OR SIGN SHALL PROJECT BEYOND THAT AS SHOWN IN THE DESIGN.
 - 11) THE EXTERNAL FACE OF THE BRICK MASONRY OR EXTERIOR WALL SHALL BE FINISHED BY DEEP STUCCO OR LIGHT COLOURED PLASTER OR ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE WALL, CHAJJA ETC.
 - 12) SIGNIFICANT TRIP & BUMP OR APPLIED DECORATION IN PLASTER ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING. THE NO DECORATION BY THE EXTERIOR FACED SHALL BE ALLOWED.
 - 13) ALL DOORS & WINDOWS SHALL BE IN WORKS SMALL CONFORM TO SIZE AS INDICATED IN THE SCHEDULE OF JOINTLY.
 - 14) ALL PROPOSED FUTURE ROOM IN A SINGLE STOREY ZONE.
 - 15) BEFORE UNDERTAKING ANY CONSTRUCTION THERE STANDARD PROB. SHALL BE OBTAINED FROM THE CHB THROUGH THE NEAR QUALIFIED ARCHITECT WHO SHALL ALSO SUPERVISE THE CONSTRUCTION.



NOTE

THIS DRG. IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET/ STORE ALLOWED UNDER NEEDBASE CHANGES 23-3-2010

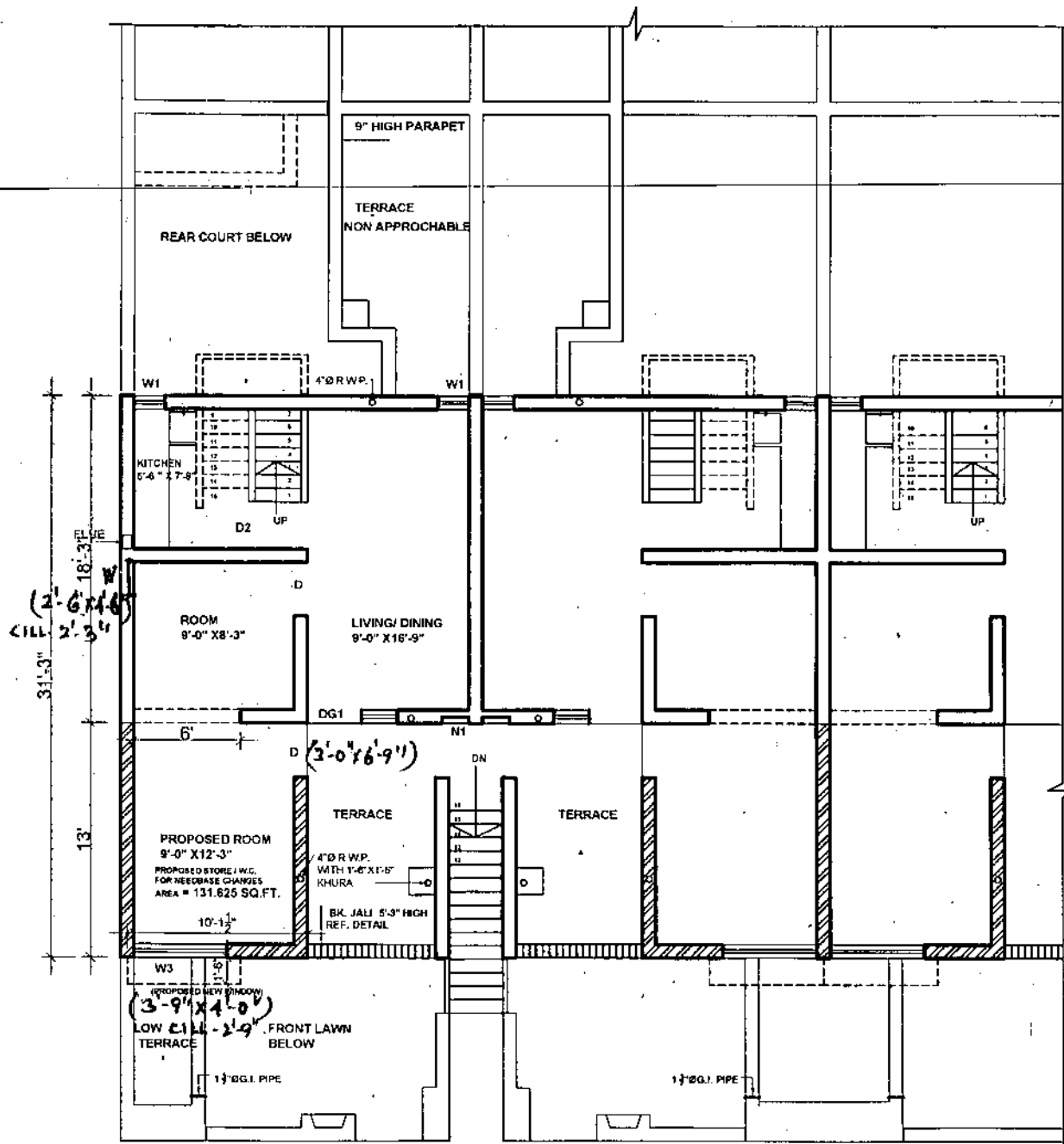
THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3, NEEDBASE CHANGES 23-03-2010 IS MARKED ON THE DRG. BASED ON APPROVED DRG. NO. 102 JOB NO 2138 ALONG WITH R.W.P. DISPOSAL.

FOR ANY OTHER DETAIL / NOTES REF-DRG-NO:1-JOB NO:2138

Chief Architect.	Senior Architect.
Civil Engineer.	SuperIntending Engineer CHB.
Structure Engineer.	DATE: ...
Elect. Engineer.	2138 JOB NO
Fire Fighting.	3 DRG. NO.
Ph.Engineer.	STANDARD DESIGN OF NEED BASED CHANGES FOR I.I.G. UPPER FLATS SECTOR 29 - B , 47-D & 40 -A CHANDIGARH GROUND-FLOOR-PLAN

CHANDIGARH HOUSING BOARD

- Notes:-**
- 1) THIS DRG. IS COMPLEMENTARY TO DRG. NO. _____ OF JOB NO. _____ AND FORMS PART OF THE SET OF DRAW. ALLOCATING THE STANDARD DESIGN APPLICABLE TO SUCH SITE AND AREA AS PER INDICATED ON THE RESPECTIVE ZONING PLANS FOR THE CONSTRUCTION OF _____ HOUSES CONSTRUCTED BY CHB.
 - 2) THIS DRAWING IS THE PROPERTY OF THE CHANDIGARH HOUSING BOARD. IT SHALL BE RETURNED TO THE BOARD IN WHOLE OR IN PART WITHOUT THE REQUIREMENT OF THE BOARD IN WRITING.
 - 3) NO RAIN WATER PIPE, SOIL PIPE, VENTILATION PIPE OR ANY OTHER REQUIREMENTS SHALL BE EXPOSED TO VIEW ON ANY FACE OF THE BUILDING.
 - 4) NO APPLIED DECORATION OF ANY KIND LIKE THE CORNICE, CAPITALS ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
 - 5) INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHB HOUSING BOARD.
 - 6) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHERWISE INDICATED.
 - 7) UNOCCUPIED PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEE IN ACCORDANCE WITH THE STANDARD DESIGN.
 - 8) THE STANDARD DESIGN SHEET ILLUSTRATES THE STANDARD DESIGN AND THE MATERIALS PERMISSIBLE AND COURTESY IN RESPECT OF THESE HOUSES.
 - 9) THE COST OF COMMON WALLS SHALL BE Borne PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
 - 10) NO ADVERTISEMENT IN ANY MANNER FORMING OR MANNER OTHERWISE THE NAME OF THE PERSON OR A FIRM SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE HOUSES DISPLAYED IN PAINTED NUMBERS ON SPACE DESIGNATED FOR THE PURPOSES.
 - 11) NO CASTLEVER, CORNICE OR ARCHITRAVE OR BAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
 - 12) THE EXTERNAL FACE OF THE BOUNDARY WALL OR EXTERNAL WALL SHALL BE FINISHED BY OTHER STRUCTURE LINE SURFACE. FINISHING OF ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE WALL OR JALJI ETC.
 - 13) DESIGN WITH TILES & MORTAR OR APPLIED DECORATION IN PLASTER ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING.
 - 14) NO DECORATION IN THE BALCONY, TERRACE OR STAIRS SHALL BE ALLOWED.
 - 15) ALL DOORS & WINDOWS SHALL BE IN WOODS SHALL CONFORM TO SIZES AS INDICATED IN THE SCHEDULE OF JOINTS.
 - 16) THE PROPOSED FUTURE ROOMS AS A SINGLE STOREY JOMB.
 - 17) EXPOSED UNOCCUPIED ANY CONSTRUCTION THESE STANDARDS SHALL NOT BE PERMITTED FROM THE CHB. THROUGH THE BOARD QUALIFIED ARCHITECT AND SHALL BE SUPERVISED THE CONSTRUCTION.



FIRST FLOOR PLAN

NOTE

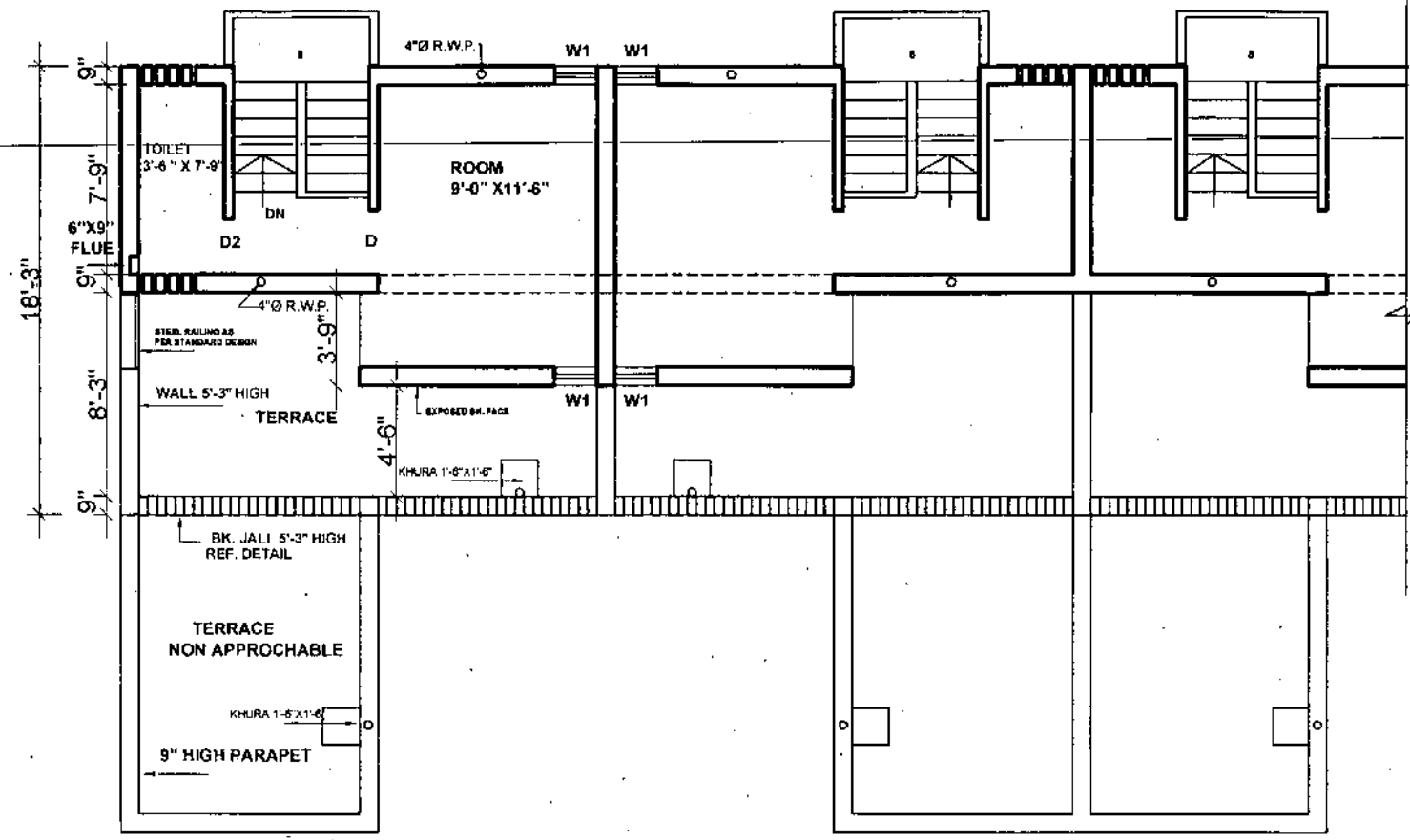
THIS DRG. IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET/ STORE ALLOWED UNDER NEEDBASE CHANGES 23-3-2010

THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 NEEDBASE CHANGES 23-03-2010 IS MARKED ON THE DRG. BASED ON APPROVED DRG. NO 1 JOB NO 2138 ALONG WITH R.W.P. DISPOSAL.

FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 1 JOB NO. 2138

Chief Architect.	Senior Architect.
Civil Engineer.	Superintending Engineer CHB.
Structure Engineer.	SCALE: (Vijay Gulera) DRAWN BY (Rashmi Thakur) PLANNING ASST.
Elect. Engineer.	DATE: 2138 JOB NO 4
Fire Fighting.	STANDARD DESIGN OF NEED BASED CHANGES FOR L.I.G. UPPER FLATS SECTOR 29 - B , 47-D & 40 -A CHANDIGARH
Ph.Engineer.	FIRST FLOOR PLAN

CHANDIGARH HOUSING BOARD



SECOND FLOOR PLAN

NOTE

THIS DRG. IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET/ STORE ALLOWED UNDER NEEDBASE CHANGES 23-3-2010

THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 NEEDBASE CHANGES 23-03-2010 IS MARKED ON THE DRG. BASED ON APPROVED DRG. NO. 1 JOB NO 2138 ALONG WITH R.W.P. DISPOSAL. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 1 JOB NO. 2138

Notes:-

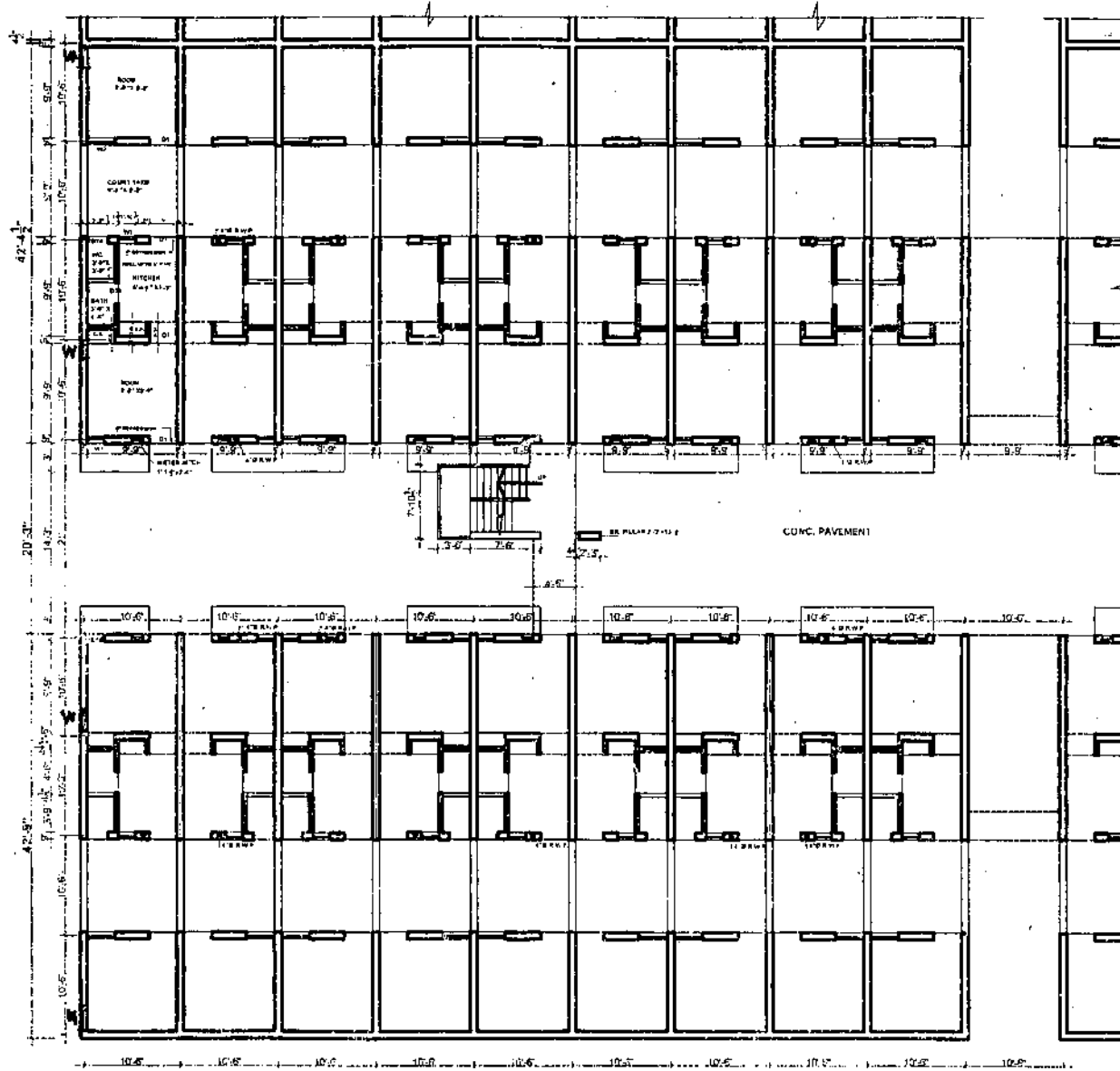
- 1) THIS DRG. IS COMPLEMENTARY TO S.D.D. NO. ... OF JOB NO. ... AND FORMS PART OF THE SET OF DRGS. ILLUSTRATING THE STANDARD DESIGN APPLICABLE TO SUCH ATTS AND SHALL BE PERMITTED ON THE RESPECTIVE JOINTING PLANS FOR THE CONSTRUCTION OF ... HOUSES CONSTRUCTED BY CHB.
- 2) THE BUILDING IS THE PROPERTY OF THE CHANDIGARH HOUSING BOARD AND SHALL NOT BE CONSIDERED AS THE PROPERTY OF THE ALLOTTEE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE.
- 3) THE RAIN WATER PIPE, PIPE, VENTILATING PIPE OR ANY OTHER PIPING WORK SHALL BE EXPOSED TO VIEW ON ANY FACE OF THE BUILDING.
- 4) NO APPLIED DECORATION OF ANY SORT LIKE THE GROUND, WALLING ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
- 5) INTERNAL DECORATION MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHB HOUSING BOARD.
- 6) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHER WAYS INDICATED.
- 7) UNOCCUPIED PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEE IN ACCORDANCE WITH THE STANDARD DESIGN.
- 8) THE STANDARD DESIGN SHEET ILLUSTRATES THE STANDARD DESIGN AND THE NEAREST PERMISSIBLE SITE COVERAGE IN RESPECT OF THESE HOUSES.
- 9) THE COST OF COMMON WALLS SHALL BE Borne INDIVIDUALLY BY THE RESPECTIVE ALLOTTEES.
- 10) NO ADVERTISEMENT IN WHAT EVER FORM OR MANNER, WHETHER THE NAME OF THE PERSON OR A FIRM SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON OR ALONG THE BOUNDARY WALL, EXCEPT THE NUMBER OF THE BUILDING DISPLAYED IN PAINTED NUMBERS ON SPACE ALLOTTED FOR THE PURPOSES.
- 11) NO CHIMNEYS, CHALLIS OR ARCHITRAVES OR BARS SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
- 12) THE EXTERNAL FACE OF THE BACK BOUNDARY OF EXTERNAL WALL SHALL BE FINISHED IN DEEP STRUCTURE FINISH, PAINTING OF ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE WALL, CHAJJA ETC.
- 13) WINDOWS WITH TILES & BARS OR APPLIED DECORATION IN PLASTER ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING. PAINT DECORATION ON THE EXTERNAL FINISHES SHALL BE ALLOWED.
- 14) ALL DOORS & WINDOWS SHALL BE IN WOODS SHALL CONFORM TO SIZES AS INDICATED IN THE SCHEDULE OF JOINTING.
- 15) THE PROPOSED FUTURE ROOM IS A SINGLE STORY ROOM.
- 16) BEFORE UNDERTAKING ANY CONSTRUCTION THESE STANDARDS ONCE SHALL NOT BE MODIFIED FROM THE CHB THROUGH THE REGAL. EXCEPTED ARCHITECT WHO SHALL ALSO SUPERVISE THE CONSTRUCTION.

Chief Architect.	Senior Architect.
Civil Engineer.	Superintending Engineer CHB.
Structure Engineer.	SCALES: (May Guleria) DRAWN BY: <i>[Signature]</i> (Sheela Thakur) PLANNING AS&IT.
Elect. Engineer.	DATE: -- 2138 JOB NO.
Fire Fighting.	5 DRG. NO.
Ph. Engineer.	STANDARD DESIGN OF NEED BASED CHANGES FOR L.I.G. UPPER FLATS SECTOR 29 - B , 47-D & 40 -A CHANDIGARH SECOND FLOOR PLAN

CHANDIGARH HOUSING BOARD

- Notes:-**
- THIS DRG. IS COMPLEMENTARY TO DRG. NO. OF JOB NO. AND FORMS PART OF THE SET. OF DRGS. GOVERNING THE STANDARD DESIGN APPLICABLE TO SUCH AREA AND AREAS AS PER INDICATED ON THE RESPECTIVE ZONING PLANS FOR THE CONSTRUCTION OF HOUSES CONSTRUCTED BY CHB.
 - THIS DRAWING IS THE PROPERTY OF THE CHANDIGARH HOUSING BOARD AND SHALL NOT BE REPRODUCED OR TRACED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
 - NO MAIN WATER PIPING, PIPE VENTILATION PIPE OR ANY OTHER PLUMBING WORK SHALL BE EXPOSED TO VIEW ON ANY FACE OF THE BUILDING.
 - NO APPLIED DECORATION OF ANY SORT (E.G. THE GRILL, SHUTTERS ETC.) SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING EXCEPT ON JUNCTION WALL.
 - NO INTERNAL FINISHES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHB HOUSING BOARD.
 - NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LANDS OF AS OTHERS WHERE INDICATED.
 - UNREQUITTED PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEE IN ACCORDANCE WITH THE STANDARD DESIGN.
 - THE STANDARD DESIGN SHALL BE ALIQUOTED TO THE STANDARD DESIGN AND THE ALLOTTEE'S PERMITTED SITE COVERAGE IN RESPECT OF THESE HOUSES.
 - THE COST OF COMMON WALLS SHALL BE SHARED PRO-RATA BY THE RESPECTIVE ALLOTTEES.
 - NO ADVERTISEMENT IN WHATEVER FORM OR MANNER WHETHER THE NAME OF THE PERSON OR FIRM SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE PREMISES DISPLAYED IN PAINTED NUMBERS ON SPACE RESERVED FOR THE PURPOSES.
 - NO GANTRY OVERHANGS OR ARCHITECTURAL BANDS SHALL BE PERMITTED EXCEPT THAT AS SHOWN IN THE DRAWING.
 - THE EXTERNAL FACE OF THE BRICK MASONRY OF EXTERNAL WALL SHALL BE FINISHED IN BRICK STERON LINE SURFACE FINISHING OF ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE WALL, CORNER ETC.
 - FINISH WITH TILES - FINISH OF APPLIED DECORATION IN PLASTER ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING.
 - NO ORIENTATION IN THE EXTERNAL FACADE SHALL BE ALLOWED.
 - EXCEPT AS SHOWN A WINDOW SHALL BE OF WINDOW SHALL BE COLOURED TO SIZES AS INDICATED IN THE SCHEDULE OF FINISHES.
 - THE FINISHED FLOOR ROOM IN 2-BED ROOM SHALL BE 10'-0" X 11'-0".
 - BEFORE UNDERTAKING ANY CONSTRUCTION WORKS IN THESE STANDARD HOUSES, THE ALLOTTEE SHALL CONSULT THE CHB THROUGH THE ARCHITECT/PLANNING ASSTT. WHO SHALL BE RESPONSIBLE FOR THE CONSTRUCTION.

Joinery of future. Const.
W-2'-6" X A-1'-0"
CILL-2'-9"

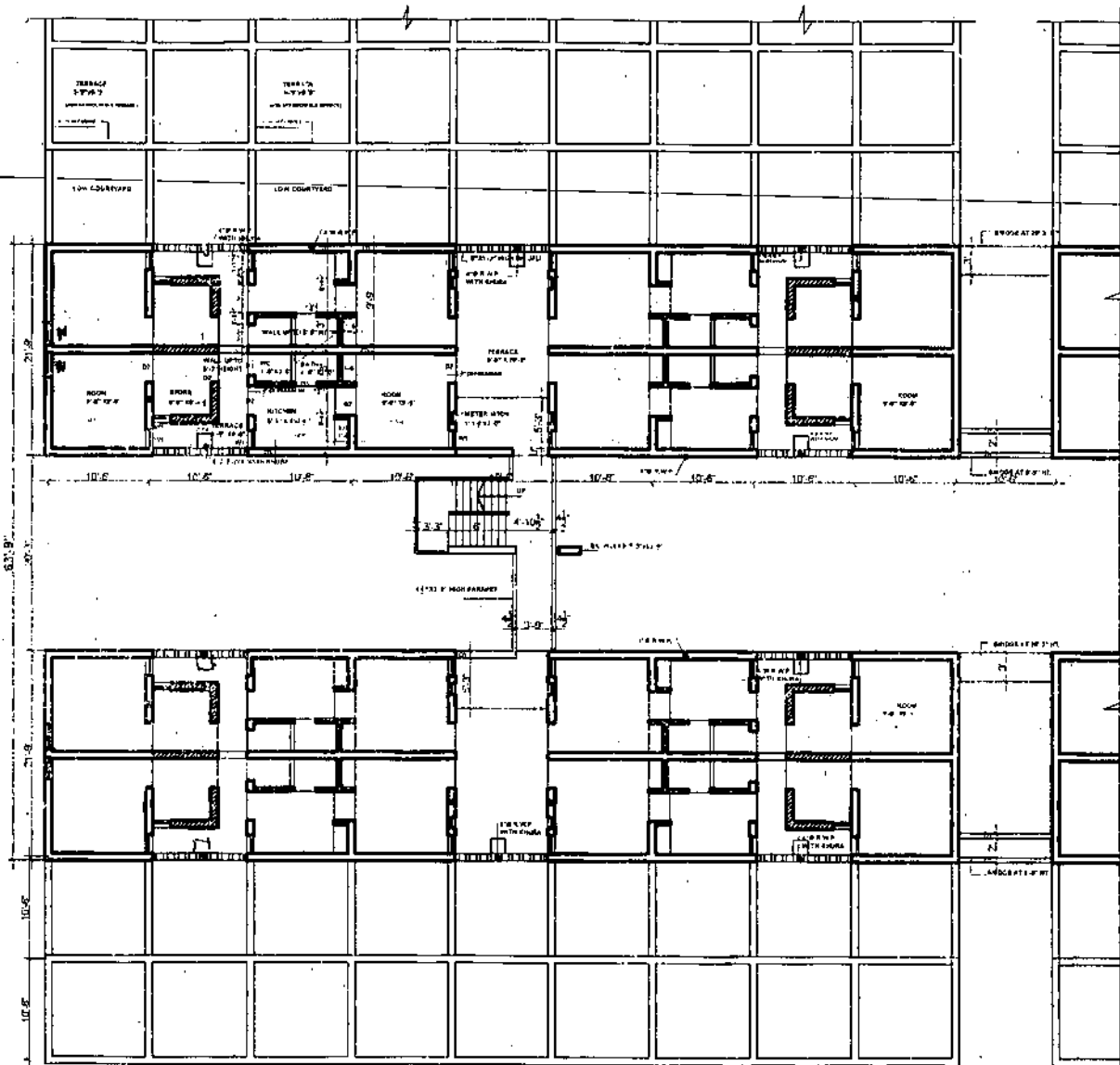


GROUND FLOOR PLAN

NOTE
THIS DRG. IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET / STORE ALLOWED UNDER NEED BASED CHANGES 23-3-2010
THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 NEEDBASE CHANGES 23-03-2010 IS MARKED ON THE DRG. BASED ON APPROVED DRG. NO. 377 JOB NO. 2110 ALONG WITH R.W.P. DISPOSAL 2110
FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 1 JOB NO. 2110

	Chief Architect.	Senior Architect.
Civil Engineer.	SuperIntending Engineer CHB.	Asstt. Architect. CHB.
Structure Engineer.	SCALE:	DATE:--
Elect. Engineer.	(Vijay Guleria) DRAWN BY	2110-19
	(Bhaski Thakur) PLANNING ASSTT.	JOB NO. NO.
Fire Fighting.	STANDARD DESIGN OF NEED BASED CHANGES FOR E.W.S. & L.I.G. HOUSE	
Ph.Engineer.	SECTOR 29 & 40 - C CHANDIGARH GROUND FLOOR PLAN	

CHANDIGARH HOUSING BOARD



FIRST FLOOR PLAN

- Notes:-
- 1) THIS DRG. IS ONLY SUBJECT TO DRG. NO. ... OF JOB NO. ... AND FORMS PART OF THE SET OF DRGS. RELATING TO THE CHANGED DESIGN APPLICABLE TO SUCH SITES AND AREAS AS PER NOTIFIED ON THE RESPECTIVE ZONING PLANS FOR THE CONSTRUCTION OF ... HOUSES CONSTRUCTED BY CHB.
 - 2) THIS DRAWING IS THE PROPERTY OF THE CHANDIGARH HOUSING BOARD AND MUST BE CONSIDERED VOID IF REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
 - 3) NO WORK SHALL BE PERMITTED WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
 - 4) NO APPLIED DECORATION OF ANY SORT ON THE EXTERIOR WALLS OF THE BUILDING SHALL BE PERMITTED ON THE EXTERIOR FACE OF THE BUILDING OR ON THE EXTERIOR WALL.
 - 5) INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHD HOUSING BOARD.
 - 6) NO ADJUSTMENT SHALL BE ALLOWED TO GOVERNMENT LAND OR AS OT-AP WERE INDICATED.
 - 7) WHOLE PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEE IN ACCORDANCE WITH THIS STANDARD DESIGN.
 - 8) THE STANDARD DESIGN SHALL BE IN ACCORDANCE WITH THE STANDARD DESIGN AND THE MAXIMUM PERMISSIBLE SITE COVERAGE IN RESPECT OF THESE HOUSES.
 - 9) THE COST OF COMMON WALLS SHALL BE SHARED PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
 - 10) NO ADJUSTMENT IN WHAT SO EVER FORM OR IN ANY MANNER THAT THE NAME OF THE REGION OR A PART SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON THE EXTERIOR WALLS UNLESS THE ELEMENTS OF THE PRESENT DISPLAYED IN PAINTED MATERIALS ON SPACES ASSIGNED FOR THE PURPOSES.
 - 11) NO CANTILEVER, CHAJJA OR ARCHITECTURE OR BAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
 - 12) THE EXTERIOR FACE OF THE BRICK OR CONCRETE OF EXTERIOR WALL SHALL BE FINISHED IN DEEP STAINLESS STEEL JOINTS, PAINTING OF ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERIOR FACE OF THE WALL, CHAJJA ETC.
 - 13) DECORATION IN THE FORM OF BRICKS OR APPLIED DECORATION IN FLAUNT ETC. SHALL NOT BE PERMITTED ON THE EXTERIOR FACE OF THE BUILDING.
 - 14) NO DEVIATION IN THE EXTERIOR FACINGS SHALL BE ALLOWED.
 - 15) ALL WORKS SHALL BE AS SHOWN IN THE DRAWING TO BE DONE AS INDICATED BY THE SIGNATURE OF THE ARCHITECT.
 - 16) THE PROJECT TO BE COMPLETED WITHIN A SINGLE FINANCIAL YEAR.
 - 17) BEFORE THE START OF ANY CONSTRUCTION THE STANDARD JOB SHALL BE SANCTIONED BY THE CHB. THROUGH THE R.E. DE. QUALIFIED ARCHT. (C) WHO SHALL BE SUPERVISING THE CONSTRUCTION.

Joinery of future Const

W - 2'-6" x 4'-0" - CILL LVL
 D₂ - 3'-0" x 6'-9" -
 D₁ - 3'-0" x 6'-9" -
 W₁ - 1'-10 1/2" x 4'-0" - 2'-9"

NOTE
 THIS DRG. IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET / STORE ALLOWED UNDER NEED BASED CHANGES 23-3-2010
 THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 NEEDBASE CHANGES 23-03-2010 IS MARKED ON THE DRG. BASED ON APPROVED DRG. NO. 1-2-3 JOB NO. 2 ALONG WITH R.W.P. DISPOSAL. 2110
 FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 2 JOB NO. 2110

	Chief Architect.	Senior Architect.
Civil Engineer.	Superintending Engineer CHB.	Asst. Architect. CHB.
Structure Engineer.	SCALE:	DATE: ..
Elect. Engineer.	(Vijay Grewal) DRAWN BY: <i>Vijay Grewal</i> (Shashi Thakur) PLANNING ASSTT. <i>Shashi</i>	2110 20 JOB NO. 2110 C.S. NO.
Fire Fighting.	STANDARD DESIGN OF NEED BASED CHANGES FOR E.W.S. & L.I.G. HOUSE SECTOR 29 & 40 - C CHANDIGARH FIRST FLOOR PLAN	
Ph.Engineer.		

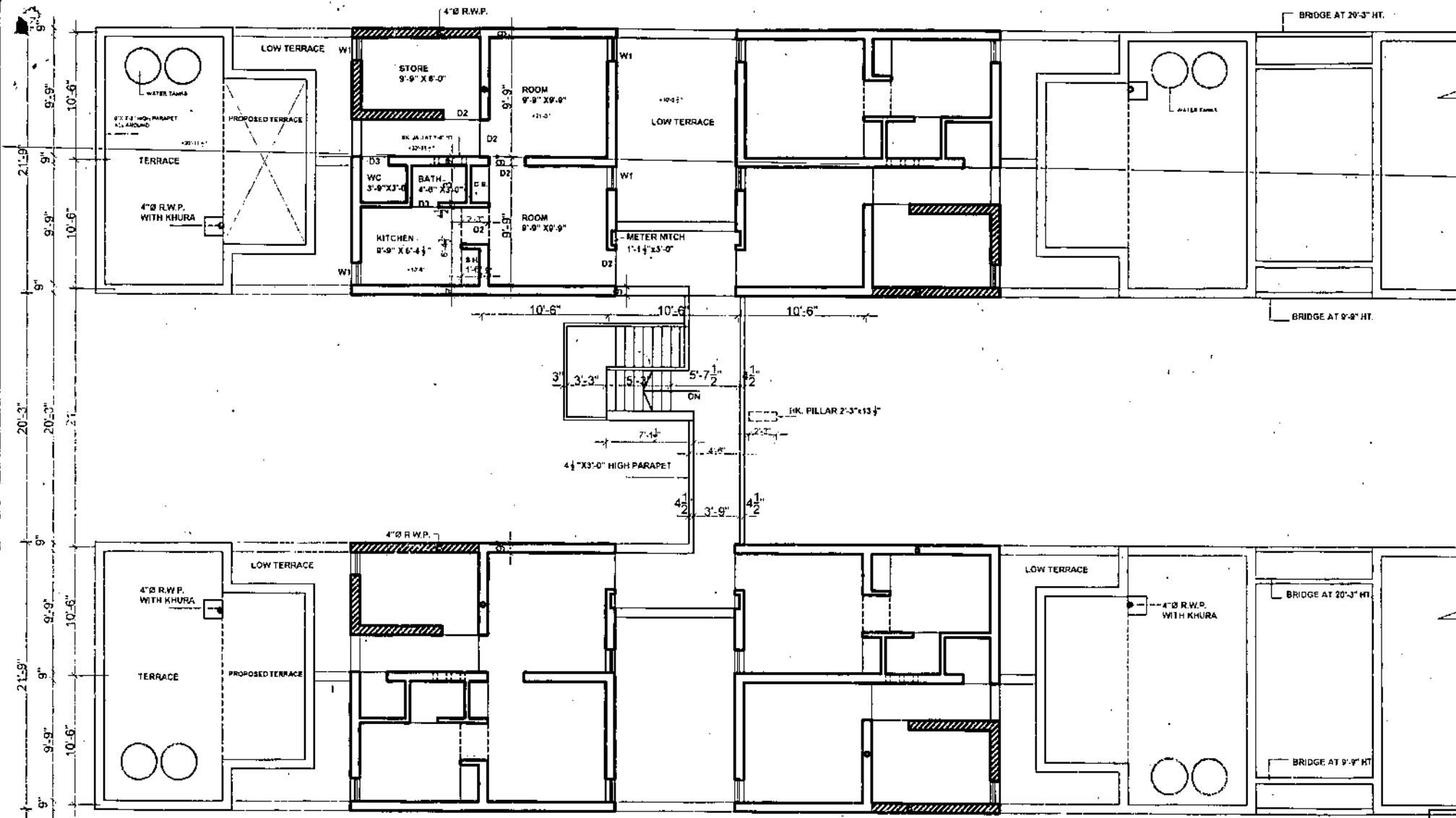
CHANDIGARH HOUSING BOARD

- Notes:-**
1. THIS DRG. IS COMPLEMENTARY TO DRG. NO. ... OF JOB NO. ... AND FORMS PART OF THE SET OF DRG. ILLUSTRATING THE STANDARD DESIGN APPLICABLE TO LOW RISE AND AREAS AS PER INDICATED ON THE RESPECTIVE ZONING PLANS FOR THE CONSTRUCTION OF ... HOUSES CONSTRUCTED BY CHB.
 2. THIS DRAWING IS THE PROPERTY OF THE CHB AND MUST NOT BE COPIED, ALTERED OR TRACED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
 3. NO RAIN WATER PIPE/PIPE WITH ANY PIPE OR ANY OTHER PLUMBING WORK SHALL BE ALLOWED TO RUN ON ANY FACE OF THE BUILDING.
 4. NO APPLIED DECORATION OF ANY SORT LIKE THE CORNICE, SHEDDING ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALLS.
 5. INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE SUPERINTENDING ENGINEER.
 6. NO PROJECTION SHALL BE ALLOWED ON EXTERIOR WALLS OR OTHER WORK THEREON.
 7. UNLESS NOTED OTHERWISE, THE WORK SHALL BE COMPLETED BY THE ALLOTTEE IN ACCORDANCE WITH THE STANDARD DESIGN.
 8. THE STANDARD DESIGN SHOWN ILLUSTRATE THE STANDARD DESIGN AND THE MAXIMUM PERMISSIBLE SITE COVERAGE IN RESPECT OF THESE HOUSES.
 9. THE COST OF COMMON WALLS SHALL BE SHARED PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
 10. NO ADVERTISEMENT IN WHAT SO EVER FORM OR MANNER, WHETHER THE NAME OF THE PERSON OR A FIRM SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT BY THE NUMBER OF THE PREMISES DISPLAYED IN PAINTED NUMBERS ON SPACES PROVIDED FOR THE PURPOSES.
 11. NO CHALK, PENCIL OR ARCHITECTURE OR BAND SHALL BE USED BEYOND THAT AS SHOWN IN THE DRAWING.
 12. THE EXTERNAL FACE OF THE WORK BOUNDARY OR EXTERNAL WALL SHALL BE FINISHED IN BEET ATTACK LINE SURFACE, POINTING/PARTING OF ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE WALL, CHIMNEY ETC.
 13. DESIGN WITH TIE IN A MEMBER OR APPLIED DECORATION IN PLASTER ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING.
 14. NO DEVIATION IN THE EXTERNAL FINISHES SHALL BE ALLOWED.
 15. SMALL ROOMS & WINDOWS SHALL BE IN WOODEN SHALL CONFORM TO SIZE AS INDICATED IN THE SCHEDULES OF JOINTS.
 16. THE PROPOSED PULL UP ROOM IS A SINGLE STOREY ZONE.
 17. BEFORE COMMENCING ANY CONSTRUCTION, THERE OF STANDARD DESIGN SHALL GET APPROVED FROM THE CHB. THROUGH THE BOARD. QUALIFIED ARCHITECT WHO SHALL ALSO SUPERVISE THE CONSTRUCTION.

Joinery of future Cost:-

W₁ - 1-10 1/2 x 4'-0" 2'-9"

D₂ - 3'-0" x 6'-9" -



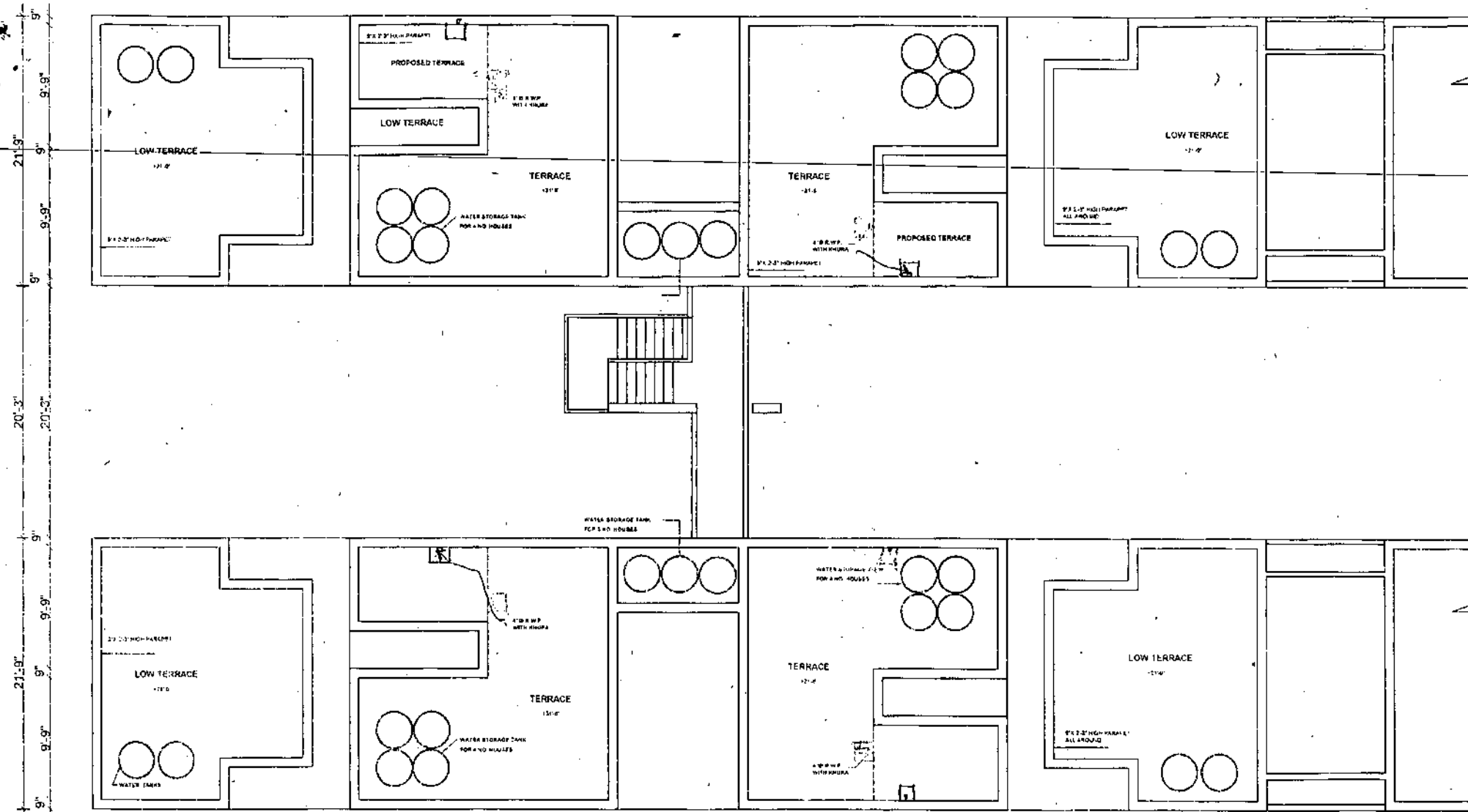
SECOND FLOOR PLAN

NOTE
 THIS DRG. IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET / STORE ALLOWED UNDER NEED BASED CHANGES 23-3-2010.
 THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 NEEDBASE CHANGES 23-3-2010 IS MARKED ON THE DRG. BASED ON APPROVED DRG. NO. 5173, 3
 JOB NO. ... ALONG WITH R.W.P. DISPOSAL.
 FOR ANY OTHER DETAIL / NOTES
 REF. DRG. NO. 3 JOB NO. 2116

Chief Architect.	Senior Architect.
Civil Engineer.	Superintending Engineer CHB.
Structure Engineer.	SCALE: DRAWN BY: <i>Vijay Gulati</i> DESIGN BY: <i>Vijay Gulati</i> PLANNING ASSTT. <i>Shashi</i>
Elect. Engineer.	DATE: ...
Fire Fighting.	2116 2.0 JOB NO. ...
Ph. Engineer.	STANDARD DESIGN OF NEED BASED CHANGES FOR E.W.S. & L. I. G. HOUSES SECTOR 29 & 40 - C CHANDIGARH SECOND FLOOR PLAN

CHANDIGARH HOUSING BOARD

- Notes:-**
- THIS DRG. IS COMPLETE ONLY TO ONE NO. OF JOB NO. AND FORMS PART OF THE SET OF DRGS. ILLUSTRATING THE STANDARD DESIGN APPLICABLE TO SUCH ALLOTS AND AREAS AS INDICATED ON THE RESPECTIVE LINDING PLANS FOR THE CONSTRUCTION OF HOUSES CONSTRUCTED BY CHB.
 - THE DRAWING IS THE PROPERTY OF THE CHB AND MUST NOT BE REPRODUCED OR TRANSCRIBED BY WHOMEVER OR IN ANY MANNER WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
 - NO NEW WATER PIPING, FIRE/FLOODING PIPE OR ANY OTHER PLUMBING WORK SHALL BE ALLOWED TO BE DONE ON ANY FACE OF THE BUILDING.
 - NO APPLIED DECORATION OF ANY BODY LIKE THE GRILLS, SHUTTERS ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
 - INTERNAL FINISHES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHB. HOUSING BOARD.
 - NO PROJECTION SHALL BE ALLOWED BY GOVERNMENT LAND OR BY OTHER LAWS INDICATED.
 - UNBUILT PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEE IN ACCORDANCE WITH THIS STANDARD DESIGN.
 - THE STANDARD DESIGN SHEET ILLUSTRATES THE STANDARD DESIGN AND THE MINIMUM ACCEPTABLE SITE COVERAGE IN ASPECT OF THESE HOUSES.
 - THE COST OF CONSTRUCTION SHALL BE Borne INDIVIDUALLY BY THE RESPECTIVE ALLOTTEES.
 - NO ADVERTISEMENT IN WHAT SO EVER FORM AND OF WHATEVER NATURE THE NAME OF THE PERSON OR A FIRM SHALL BE PERMITTED ON THE FACE OF THE HOUSE OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE ADDRESS OR PLATES IN PAINTED NUMERALS OR SPACE MARKERS FOR THE PURPOSES.
 - NO CHANTIVEE CHANJA OR ARCHITECTURE CAN HAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
 - THE EXTERNAL FACE OF THE BRICK MASONRY OF EXTERNAL WALL SHALL BE FINISHED BY ONE OF THE FOLLOWING METHODS: (a) WHITE WASHING (b) WHITE WASHING WITH PATTERNS OF ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE WALL, CHIMNEY ETC.
 - DRAMA WITH TILES & BRICKS OR APPLIED DECORATION IN PLASTER ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING.
 - NO ORNAMENT IN THE EXTERNAL FACINGS SHALL BE ALLOWED.
 - ALL DOORS & WINDOWS SHALL BE IN WOOD SHALL CONFORM TO SIZES AS INDICATED IN THE SCHEDULE OF JOINTS.
 - THE PROPOSED FINISH FROM A SINGLE STOREY HOME.
 - NO WORKING LIGHTS OR ANY OTHER ELECTRICAL FIXTURES SHALL BE ALLOWED TO BE INSTALLED ON THE EXTERNAL FACE OF THE BUILDING UNLESS THEY ARE INDICATED ON THE DRAWING.



TERRACE FLOOR PLAN

NOTE
 THIS DRG. IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET / STORE ALLOWED UNDER NEED BASED CHANGES 23-3-2010.
 THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 NEEDBASE CHANGES 23-3-2010 IS MARKED ON THE DRG. BASED ON APPROVED DRG. NO. R.C.C. 2
 JOB NO. 2110 ALONG WITH R.W.P. DISPOSAL.
 FOR ANY OTHER DETAIL / NOTES
 REF. DRG. NO. 2 JOB NO. 2110

	Chief Architect.	Senior Architect.
Civil Engineer.	Superintending Engineer, CHB.	Asstt. Architect, CHB.
Structure Engineer.	SCALE:	DATE: 21/01/12
Elect. Engineer.	DRAWN BY: (Vijay Gulab) (Shashi Thakur) PLANNING ASSTT.	JOB NO.
Fire Fighting.	STANDARD DESIGN OF NEED BASED CHANGES FOR E.W.S. & L. I. G. HOUSES SECTOR 29 & 40 - C CHANDIGARH TERRACE FLOOR PLAN	
Ph.Engineer.		