

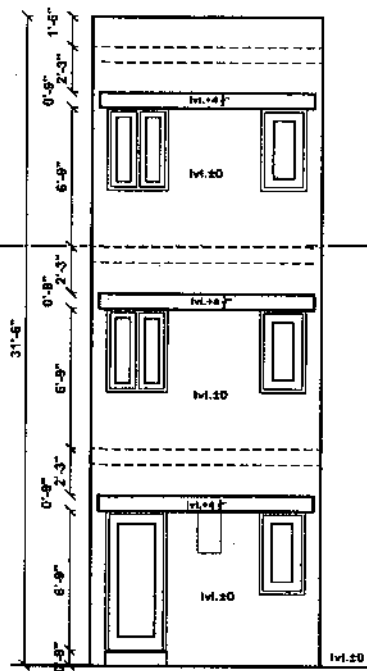
CHANDIGARH HOUSING BOARD

NOTES:-

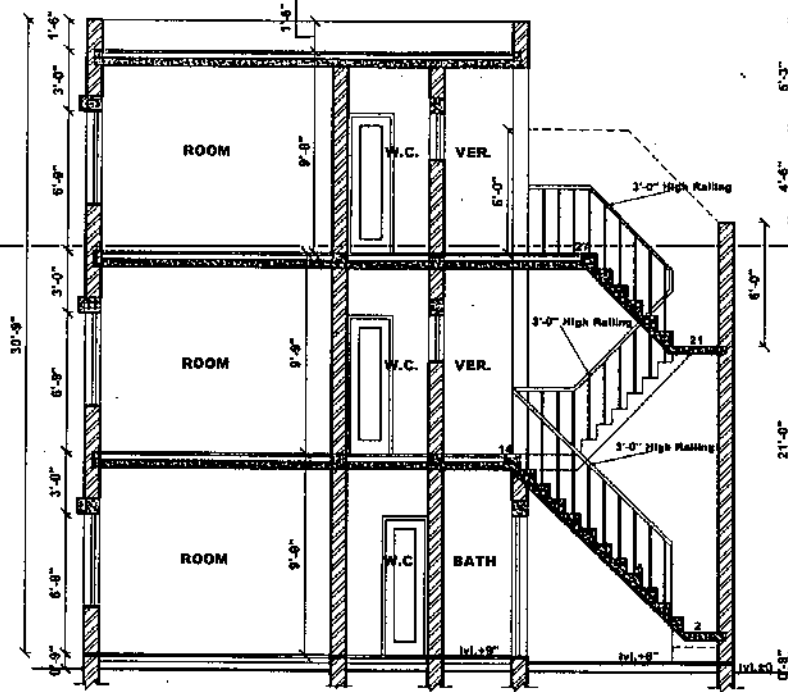
- 1) THIS DRAWING IS THE PROPERTY OF THE CHB, CHD. AND MUST NOT BE COPIED, ALTERED OR TRACED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
- 2) NO RAINWATER PIPE, SOIL PIPE, VENTILATING PIPE OR ANY OTHER PLUMBING WORK SHALL BE EXPOSED TO VIEW ON ANY FACE OF THE BUILDING.
- 3) NO APPLIED DECORATION OF ANY SORT LIKE THE CROSS, SWASTIKA ETC. SHALL BE FERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
- 4) INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHD. HOUSING BOARD.
- 5) NO PROJECTION SHALL BE ALLOWED ON GOVERNEMENT LAND OR AS OTHER WISE INDICATED.
- 6) UNBUILT PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEES IN ACCORDANCE WITH THIS STANDARD DESIGN.
- 7) THIS STANDARD DESIGN SHEET ILLUSTRATE THE STANDARD DESIGN AND THE MAXIMUM PERMISSIBLE SITE COVERAGE IN RESPECT OF THESE HOUSES.
- 8) THE COST OF COMMON WALLS SHALL BE SHARED PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
- 9) NO ADVERTISEMENT IN WHAT-SO-EVER FORM, KIND OR MANNER, WHETHER THE NAME OF THE PERSON OR ALONG THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE DESIGN AND SPECIFICATIONS.
- 10) NO CANTILEVER, CHAJJA OR ARCHITREVE OR BAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.

JOINERY DETAIL:-

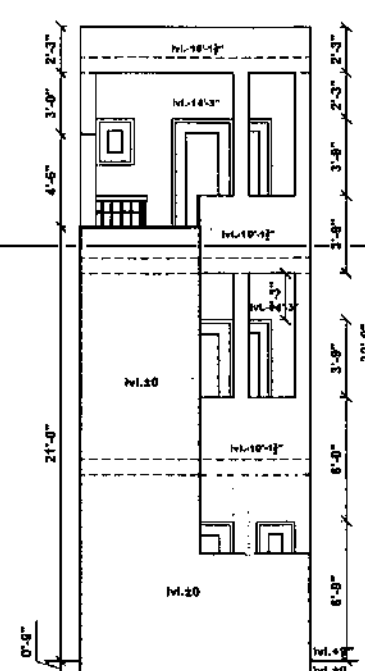
DG1	4'-6" X 6'-9"	
D	3'-0" X 6'-9"	
D1	2'-7 1/2" X 6'-9"	
D2	2'-3" X 6'-9"	
W	2'-3" X 4'-0"	CILL = 2'-9"
W1	1'-10 1/2" X 3'-3"	CILL = 3'-6"
W2	1'-10 1/2" X 2'-3"	CILL = 4'-6"
W3	3'-0" X 4'-0"	CILL = 2'-9"
N	9" X 9" X 4 1/2"	
N1	13 1/2" X 13 1/2" X 4 1/2"	
N2	13 1/2" X 2'-0" X 7 1/2"	
W4	2'-6" X 4'-0"	CILL = 2'-9"



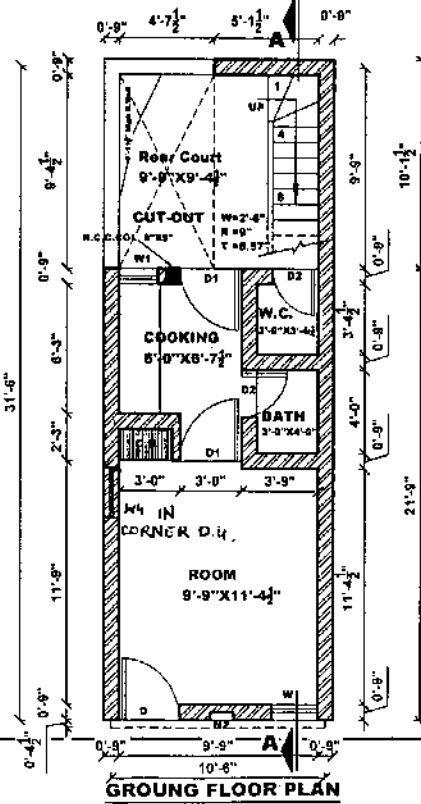
FRONT ELEVATION



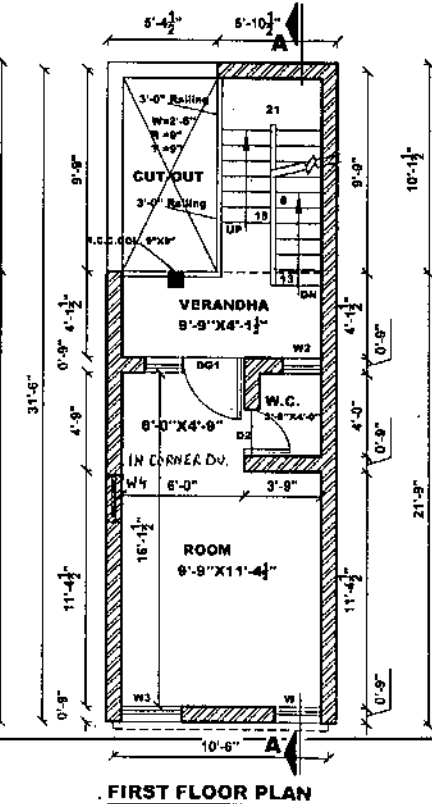
SECTION AT A-A



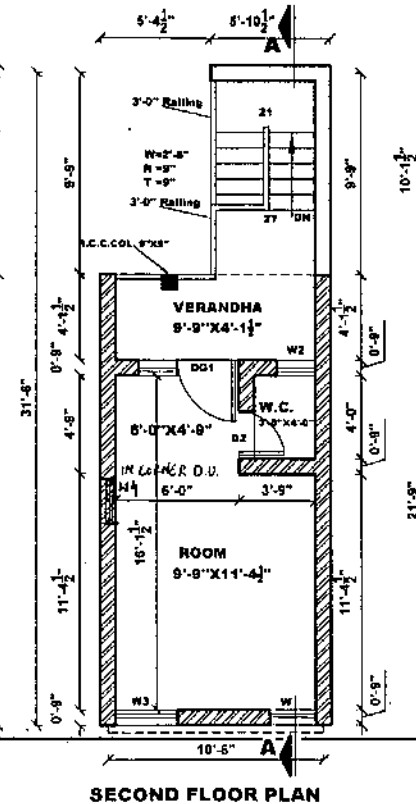
REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

S.NO.	DESCRIPTION	SIGN.	DATE
REVISIONS			
STRUCTURE. ENG.	CHIEF ARCHITECT.	SENIOR ARCHITECT.	
ELECT. ENGINEER.	ARCHITECT.	ASST. ARCHITECT.	
FIRE FIGHTING.	CHECKED BY	JOB NO.	DRG. NO.
PH. ENGINEER.	STANDARD DESIGN OF SITES AND SERVICES SCHEME MANIMAJRA AND MALOYA COLONY. (PLOT SIZE = 10'-6" X 31'-8")		
PLAN, ELEVATION & SECTION			

CHANDIGARH HOUSING BOARD

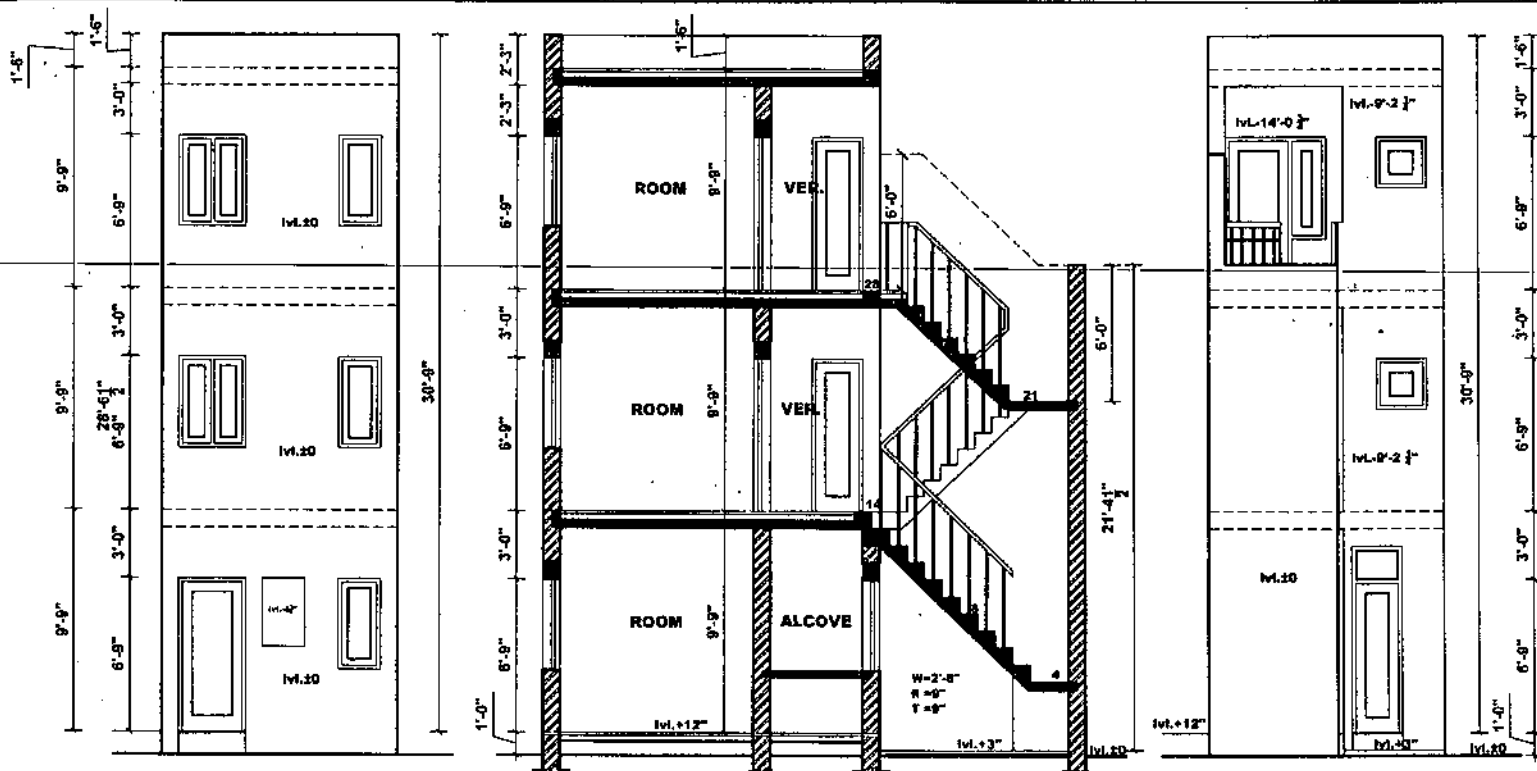
NOTES:-

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- 3) NO APPLIED DECORATION OF ANY SORT LIKE THE CROSS, SHASTIKA ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
- 4) INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHD, HOUSING BOARD.
- 5) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHERWISE INDICATED.
- 6) UNBUILT PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEES IN ACCORDANCE WITH THIS STANDARD DESIGN.
- 7) THIS STANDARD DESIGN SHEET ILLUSTRATE THE STANDARD DESIGN AND THE MAXIMUM PERMISSIBLE SITE COVERAGE IN RESPECT OF THESE HOUSES.
- 8) THE COST OF COMMON WALLS SHALL BE SHARED PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
- 9) NO ADVERTISEMENT IN WHAT-SO-EVER FROM, KIND OR MANNER, WHETHER THE NAME OF THE PERSON OR ALONG THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE DESIGN AND SPECIFICATIONS.
- 10) NO CANTILEVER, CHAJJA OR ARCHITREVE OR BAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
- 11)

JOINERY DETAIL:-

Type	Size	Cill
DD	4'-6" X 6'-0"	
DD1	3'-9" X 6'-9"	
D	3'-0" X 6'-9"	
D1	2'-3" X 6'-9"	
D2	2'-7 1/2" X 6'-9"	
D1/V	2'-3" X 6'-3"	
W1	1'-10 1/2" X 4'-0"	CILL=2'-9"
W2	2'-3" X 2'-3"	CILL=4'-6"
W3	3'-0" X 4'-0"	CILL=2'-9"
N1	1'-10 1/2" X 3'-0"	CILL=3'-9"
N4	2'-6" X 4'-6"	CILL=2'-9"

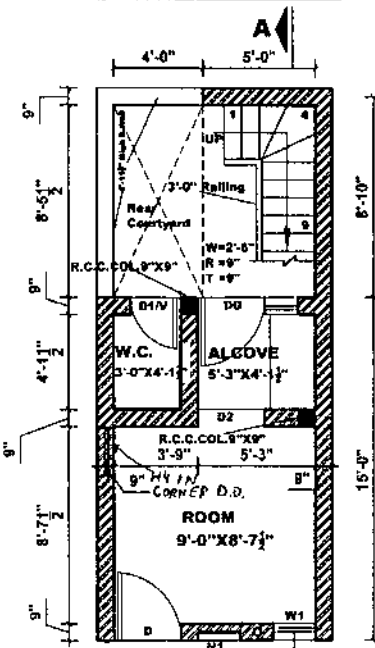
S.NO.	DESCRIPTION	SIGN.	DATE
REVISIONS			
STRUCTURE. ENG.	CHIEF ARCHITECT.	SENIOR ARCHITECT.	
ELECT. ENGINEER.	ARCHITECT.	ASST. ARCHITECT.	
FIRE FIGHTING.	CHECKED BY	JOB NO.	DRG. NO.
PH. ENGINEER.	STANDARD DESIGN OF HOUSE AT (Three Storiad) MALOYA COLONY & DHANAS. (PLOT SIZE = 9'-9" X 24'-0")		
PLAN, ELEVATION & SECTION			



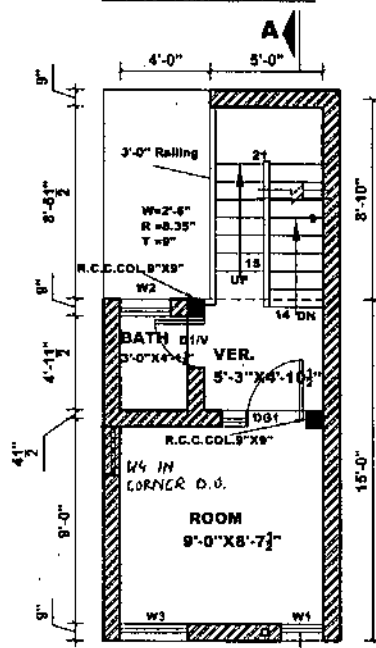
FRONT ELEVATION

SECTION AT A-A

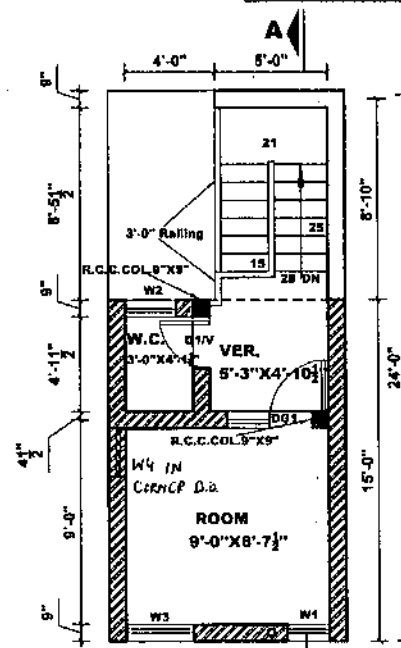
REAR ELEVATION



GROUND FLOOR PLAN

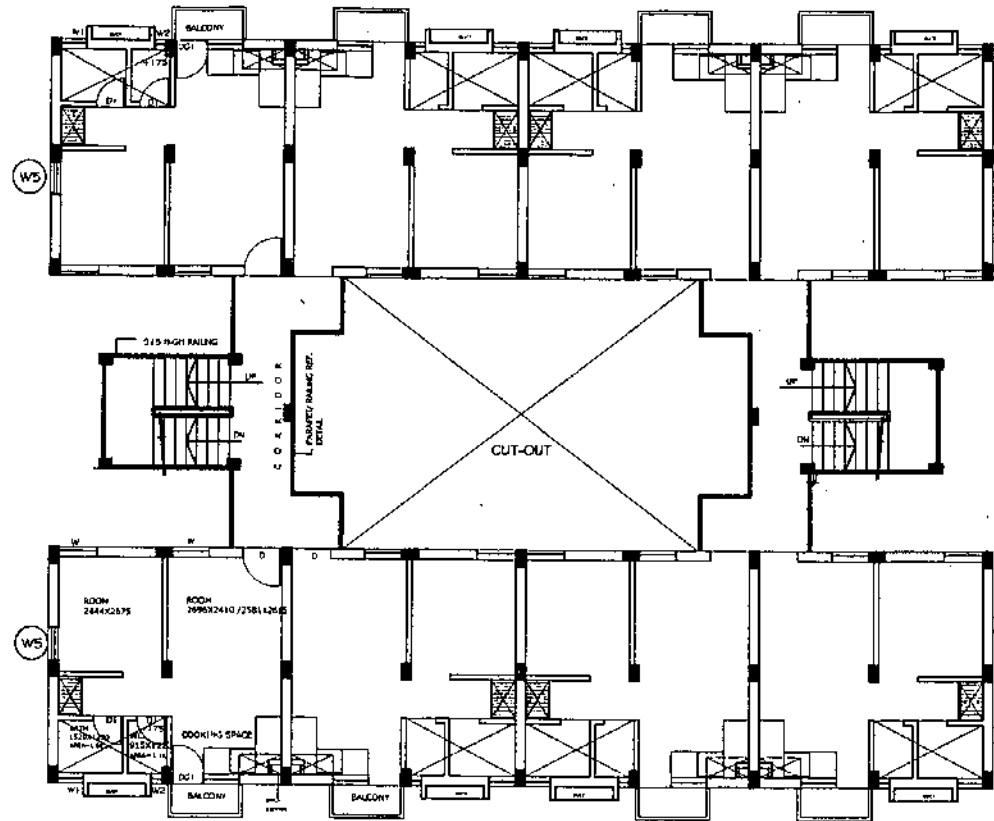


FIRST FLOOR PLAN



SECOND FLOOR PLAN

CHANDIGARH
HOUSING
BOARD



TYPICAL FLOOR PLAN

NOTE:-

1. THE PROPOSAL OF ADDITIONAL WINDOW OF 760 MM. (2'-6") WIDTH HAVING CILL LVL. 685 MM. (2'-3"), IN END WALL WITH LINTEL LVL SAME AS OTHER WINDOWS OF D.U. ALLOWED UNDER CLAUSE A7 OF NEED BASED CHANGES 7-7-2015 IS MARKED ON THE DRGS. BASED ON APPROVED DRG. NO. 20, JOB NO. 218.
2. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 20, JOB NO. 218.
3. IF REQUIRED BY THE ALLOTTEE TO ADD ANY ADDITIONAL WINDOW IN THE END WALL OF D.U. AS PER CLAUSE A7 THEN IT SHOULD BE ADDED AT THE LOCATION SHOWN AT W5.
4. THE LOCATION, SIZE, CILL LVL. & LINTEL LVL. OF WINDOW SHOWN IN END WALL OF CORNER UNIT IS APPLICABLE OF ALL D.U., I.E. G.F. AND UPPER FLOORS SO THAT THE WINDOWS OF ALL FLOORS ARE VISIBLE IN SAME LINE IN ELEVATION.

S.NO.	DESCRIPTION	SIGN.	DATE
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REVISIONS

CHIEF ARCHITECT

V. Jindal
ARCHITECT 11/09/15

Shashi Thakur
ASSTT. ARCHITECT

SCALE :

DATE : 10-9-2015

DRAWN BY *SMF*

218

27

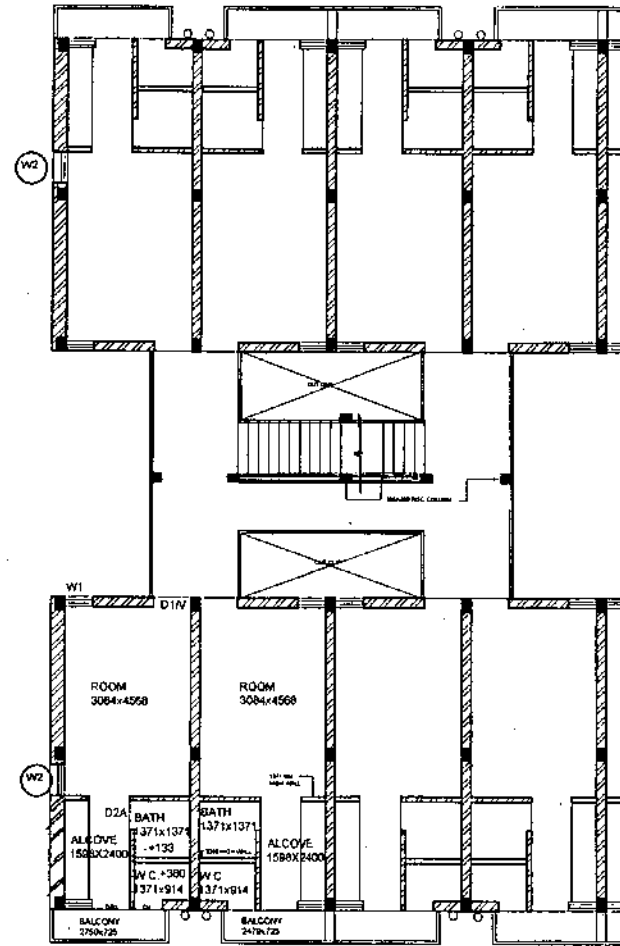
PLANING ASSTT.

JOB NO.

DRG. NO.

TYPICAL FLOOR PLAN
REVISED D.U. FOR
SMALL FLATS SCHEME, MALOYA I
CHANDIGARH (U.T.)

CHANDIGARH
HOUSING
BOARD



TYPICAL FLOOR PLAN


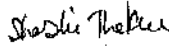
NOTE:-

1. THE PROPOSAL OF ADDITIONAL WINDOW OF 760 MM. (2'-8") WIDTH HAVING CILL LVL. 685 MM. (2'-3") IN END WALL WITH LINTEL LVL SAME AS OTHER WINDOWS OF D.U. ALLOWED UNDER CLAUSE A7 OF NEED BASED CHANGES 7-7-2015 IS MARKED ON THE DRGS. BASED ON APPROVED DRG. NO. 21R2, JOB NO. 175.
2. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 21R2, JOB NO. 175.
3. IF REQUIRED BY THE ALLOTTEE TO ADD ANY ADDITIONAL WINDOW IN THE END WALL OF D.U. AS PER CLAUSE A7 THEN IT SHOULD BE ADDED AT THE LOCATION SHOWN AT W2
4. THE LOCATION, SIZE, CILL LVL. & LINTEL LVL. OF WINDOW SHOWN IN END WALL OF CORNER UNIT IS APPLICABLE OF ALL D.U. I.E. G.F. AND UPPER FLOORS SO THAT THE WINDOWS OF ALL FLOORS ARE VISIBLE IN SAME LINE IN ELEVATION.


S.NO.	DESCRIPTION	SIGN.	DATE
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REVISIONS

CHIEF ARCHITECT

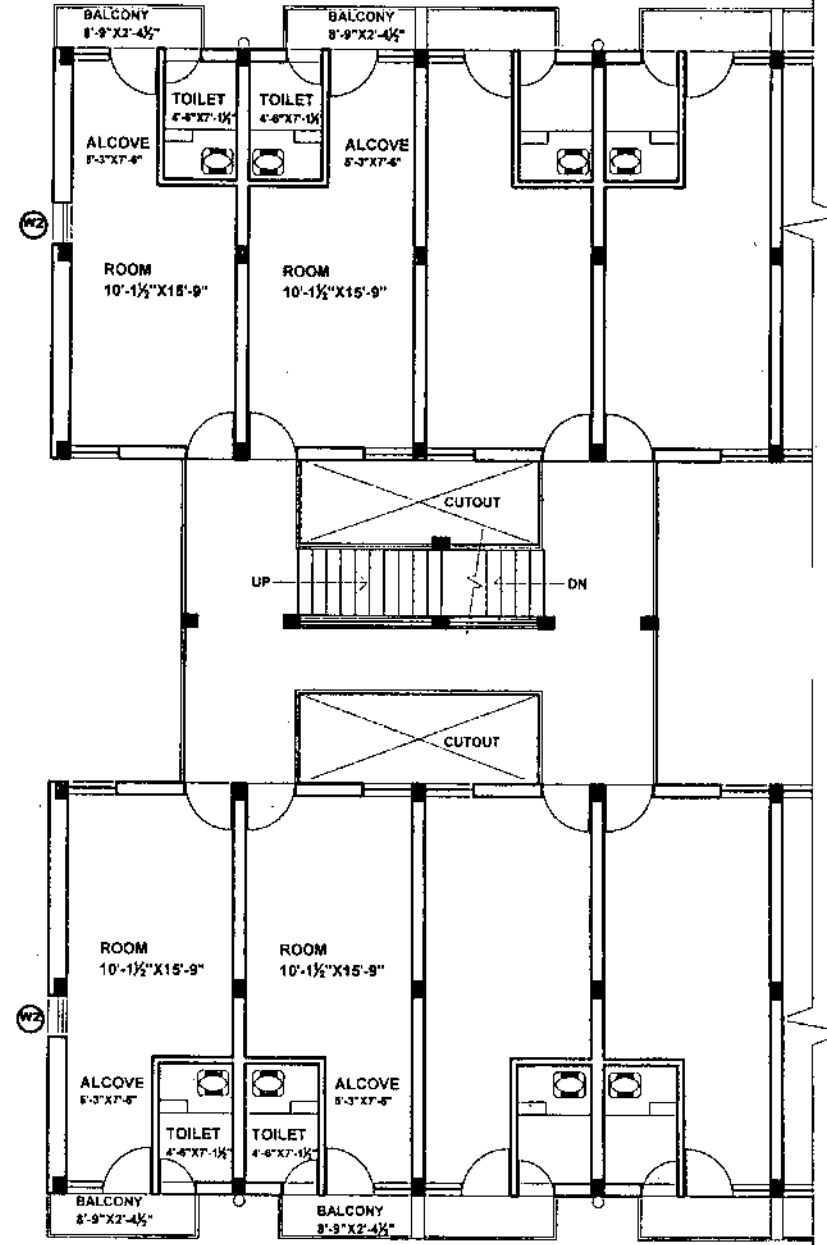
 ARCHITECT 11/09/15	 ASSTT. ARCHITECT
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SCALE:	DATE:- 10-9-2015
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DRAWN BY 	175 JOB NO.	29 DRG. NO.
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O.R.T. (SMALL FLATS) FOR SLUM DWELLERS
UNDER REHABILITATION PROGRAMME
DHANAS MALOY II, MAULIJAGRAN
TYPICAL FLOOR PLAN
CHANDIGARH (U.T.)

CHANDIGARH
HOUSING
BOARD



TYPICAL FLOOR PLAN

NOTE:-

1. THE PROPOSAL OF ADDITIONAL WINDOW OF 760 MM.(2'-6") WIDTH HAVING CILL LVL. 686 MM. (2'-3"), IN END WALL WITH LINTEL LVL SAME AS OTHER WINDOWS OF D.U. ALLOWED UNDER CLAUSE A7 OF NEED BASED CHANGES 7-7-2015 IS MARKED ON THE DRGS. BASED ON APPROVED DRG. NO. 13R1 JOB NO. 175.
2. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 13R1 JOB NO. 175.
3. IF REQUIRED BY THE ALLOTTEE TO ADD ANY ADDITIONAL WINDOW IN THE END WALL OF D.U. AS PER CLAUSE A7 THEN IT SHOULD BE ADDED AT THE LOCATION SHOWN AT W2.
4. THE LOCATION, SIZE, CILL LVL. & LINTEL LVL. OF WINDOW SHOWN IN END WALL OF CORNER UNIT IS APPLICABLE OF ALL D.U. I.E. G.F. AND UPPER FLOORS SO THAT THE WINDOWS OF ALL FLOORS ARE VISIBLE IN SAME LINE IN ELEVATION.

S.NO.	DESCRIPTION	SIGN	DATE
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REVISIONS

CHIEF ARCHITECT

ARCHITECT 11/2015 *Shashi Thakur*
ASSIST ARCHITECT

SCALE: DATE: 14.05.15

PLANNING ASST.	175	28
DRAWING ASST.	175	28
DATE: 14.05.15	JOB NO.	DWG. NO.

ORT UNDER REHABILITATION
SCHEME IN SECTOR WEST OF 38,
49, 56 (AMBEDKAR AWAS YOJNA)
RAM DARBAR