

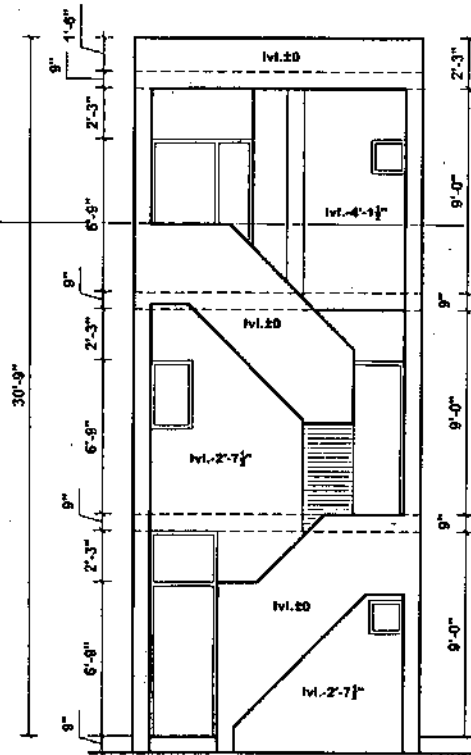
# CHANDIGARH HOUSING BOARD

## NOTES:-

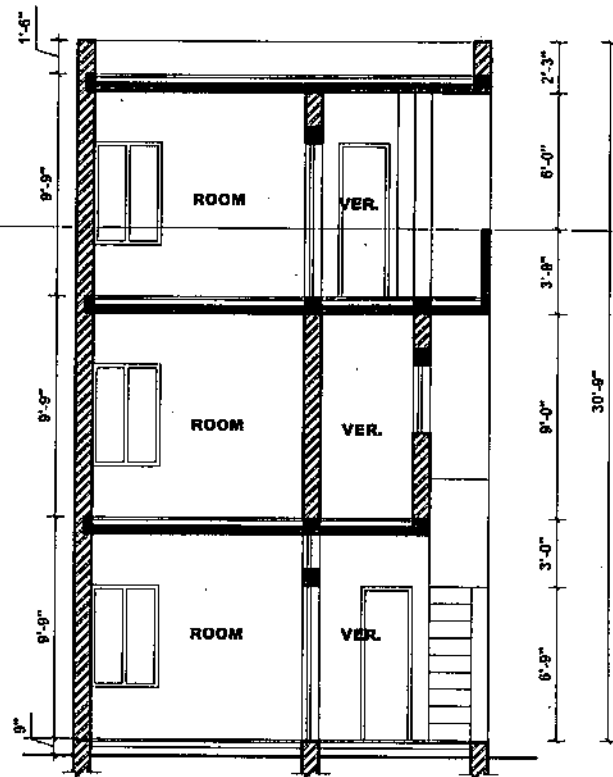
- 1) THIS DRAWING IS THE PROPERTY OF THE CHB, CHD, AND MUST NOT BE COPIED, ALTERED OR TRACED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
- 2) NO RAINWATER PIPE, SOIL PIPE, VENTILATING PIPE OR ANY OTHER PLUMBING WORK SHALL BE EXPOSED TO VIEW ON ANY FACE OF THE BUILDING.
- 3) NO APPLIED DECORATION OF ANY SORT LIKE THE CROSS, SWASTIKA ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
- 4) INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHB, HOUSING BOARD.
- 5) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHERWISE INDICATED.
- 6) UNBUILT PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEES IN ACCORDANCE WITH THIS STANDARD DESIGN.
- 7) THIS STANDARD DESIGN SHEET ILLUSTRATE THE STANDARD DESIGN AND THE MAXIMUM PERMISSIBLE SITE COVERAGE IN RESPECT OF THESE HOUSES.
- 8) THE COST OF COMMON WALLS SHALL BE SHARED PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
- 9) NO ADVERTISEMENT IN WHAT-SO-EVER FORM, KIND OR MANNER, WHETHER THE NAME OF THE PERSON OR ALONG THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE DESIGN AND SPECIFICATIONS.
- 10) NO CANTILEVER, CHAJJA OR ARCHITREVE OR BAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
- 11)

## JOINERY DETAIL:-

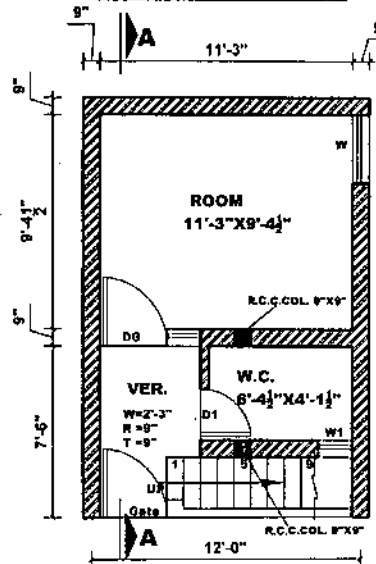
Type	Size	Cill
DO	4'-6" X 6'-9"	
D	2'-7 1/2" X 6'-9"	
D1	2'-3" X 6'-9"	
W	3'-0" X 4'-8"	2'-3"
W1	1'-8" X 1'-6"	3'-6"
W2	1'-10 1/2" X 3'-0"	3'-8"
W3	1'-6" X 1'-6"	5'-3"



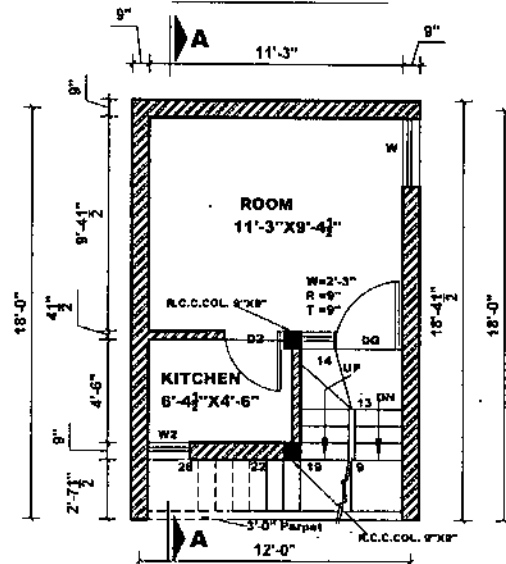
FRONT ELEVATION



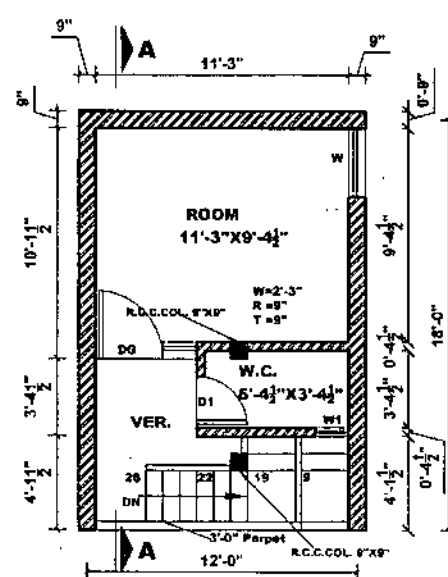
SECTION AT A-A



GROUND FLOOR PLAN



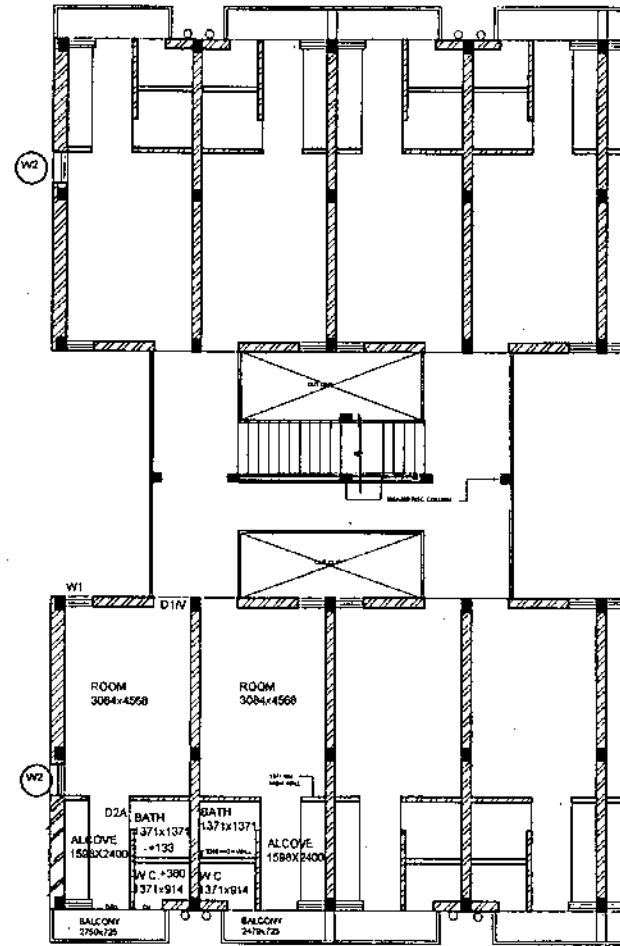
FIRST FLOOR PLAN



SECOND FLOOR PLAN

S.NO.	DESCRIPTION	SIGN.	DATE
REVISIONS			
	STRUCTURE. ENG.	CHIEF ARCHITECT.	SENIOR ARCHITECT.
	ELECT. ENGINEER.	ARCHITECT.	ASST. ARCHITECT.
	FIRE FIGHTING.	CHECKED BY	DATE : 02.06.2015
	PH. ENGINEER.	STANDARD DESIGN OF INCREMENTAL HOUSE FOR MULIJAGRA, INDIRA COLONY, MANIMAJRA & PALSORA. (PLOT SIZE=12'-0" X 18'-0")	175 3/4
PLAN, ELEVATION & SECTION			DRG. NO.

CHANDIGARH  
HOUSING  
BOARD



TYPICAL FLOOR PLAN

NOTE:-

1. THE PROPOSAL OF ADDITIONAL WINDOW OF 760 MM. (2'-8") WIDTH HAVING CILL LVL. 685 MM. (2'-3") IN END WALL WITH LINTEL LVL SAME AS OTHER WINDOWS OF D.U. ALLOWED UNDER CLAUSE A7 OF NEED BASED CHANGES 7-7-2015 IS MARKED ON THE DRGS. BASED ON APPROVED DRG. NO. 21R2, JOB NO. 175.
2. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 21R2, JOB NO. 175.
3. IF REQUIRED BY THE ALLOTTEE TO ADD ANY ADDITIONAL WINDOW IN THE END WALL OF D.U. AS PER CLAUSE A7 THEN IT SHOULD BE ADDED AT THE LOCATION SHOWN AT W2
4. THE LOCATION, SIZE, CILL LVL. & LINTEL LVL. OF WINDOW SHOWN IN END WALL OF CORNER UNIT IS APPLICABLE OF ALL D.U. I.E. G.F. AND UPPER FLOORS SO THAT THE WINDOWS OF ALL FLOORS ARE VISIBLE IN SAME LINE IN ELEVATION.

S.NO.	DESCRIPTION	SIGN.	DATE
REVISIONS			

REVISIONS

CHIEF ARCHITECT

*[Signature]*  
ARCHITECT 11/09/15

*[Signature]*  
ASSTT. ARCHITECT

SCALE:

DATE:- 10-9-2015

DRAWN BY *[Signature]*

175

29

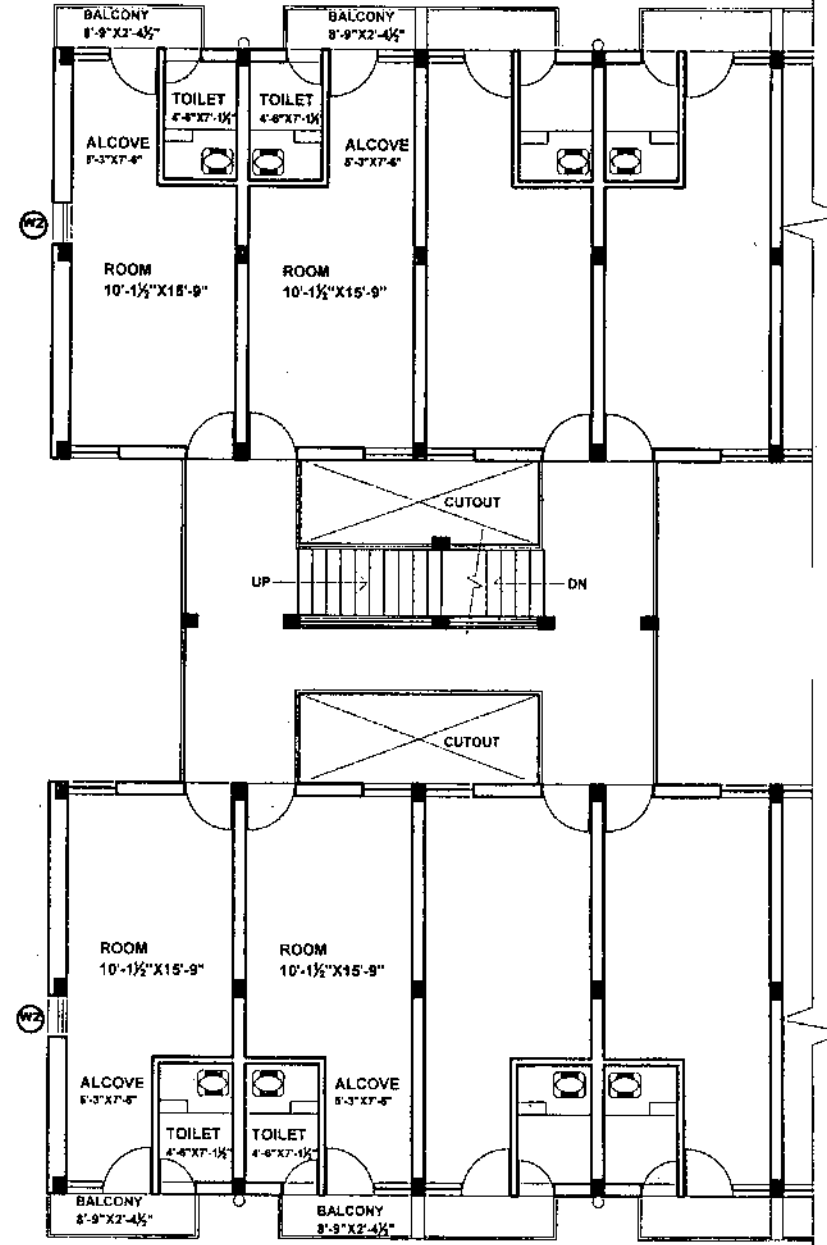
PLANNING ASSTT.

JOB NO

DRG. NO.

O.R.T. (SMALL FLATS) FOR SLUM DWELLERS  
UNDER REHABILITATION PROGRAMME  
DHANAS MALOY II, MAULIJAGRAN  
TYPICAL FLOOR PLAN  
CHANDIGARH (U.T.)

CHANDIGARH  
HOUSING  
BOARD



TYPICAL FLOOR PLAN

NOTE:-

1. THE PROPOSAL OF ADDITIONAL WINDOW OF 760 MM.(2'-6") WIDTH HAVING CILL LVL. 686 MM. (2'-3"), IN END WALL WITH LINTEL LVL SAME AS OTHER WINDOWS OF D.U. ALLOWED UNDER CLAUSE A7 OF NEED BASED CHANGES 7-7-2015 IS MARKED ON THE DRGS. BASED ON APPROVED DRG. NO. 13R1 JOB NO. 175.
2. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 13R1 JOB NO. 175.
3. IF REQUIRED BY THE ALLOTTEE TO ADD ANY ADDITIONAL WINDOW IN THE END WALL OF D.U. AS PER CLAUSE A7 THEN IT SHOULD BE ADDED AT THE LOCATION SHOWN AT W2.
4. THE LOCATION, SIZE, CILL LVL. & LINTEL LVL. OF WINDOW SHOWN IN END WALL OF CORNER UNIT IS APPLICABLE OF ALL D.U. I.E. G.F. AND UPPER FLOORS SO THAT THE WINDOWS OF ALL FLOORS ARE VISIBLE IN SAME LINE IN ELEVATION.

S.NO.	DESCRIPTION	SIGN	DATE
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REVISIONS

CHIEF ARCHITECT

ARCHITECT 11/2015 *Shashi Thakur*  
ASSIST ARCHITECT

SCALE: DATE: 14.05.15

PLANNING ASST. 175 28  
DATE: 14.05.15 JOB NO. DPO. NO.

ORT UNDER REHABILITATION  
SCHEME IN SECTOR WEST OF 38,  
49, 56 (AMBEDKAR AWAS YOJNA)  
RAM DARBAR