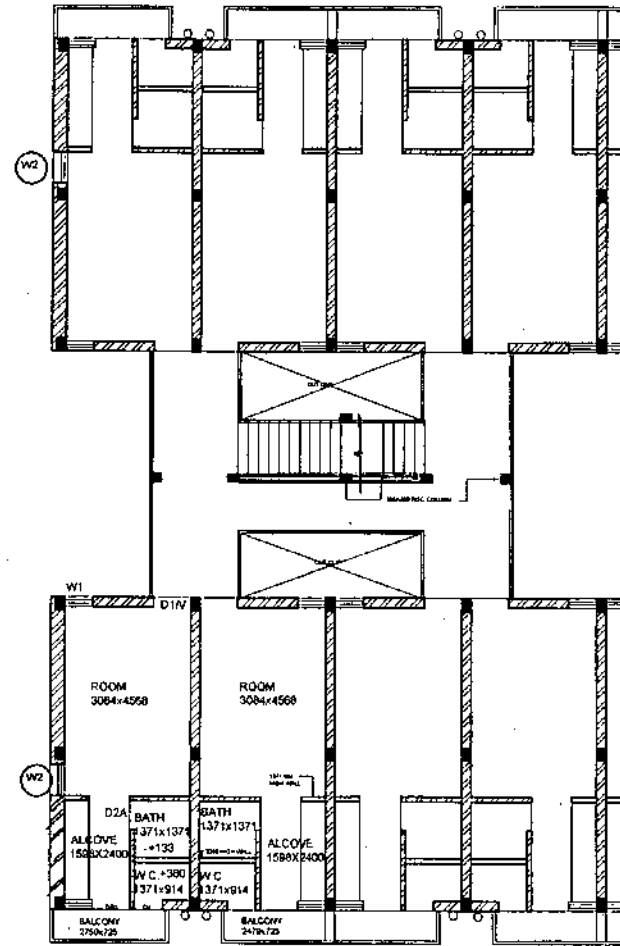


SECTION 1039

SECTION 1040

SECTION 1041

CHANDIGARH
HOUSING
BOARD



TYPICAL FLOOR PLAN

NOTE:-

1. THE PROPOSAL OF ADDITIONAL WINDOW OF 760 MM. (2'-8") WIDTH HAVING CILL LVL. 685 MM. (2'-3") IN END WALL WITH LINTEL LVL SAME AS OTHER WINDOWS OF D.U. ALLOWED UNDER CLAUSE A7 OF NEED BASED CHANGES 7-7-2015 IS MARKED ON THE DRGS. BASED ON APPROVED DRG. NO. 21R2, JOB NO. 175.
2. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 21R2, JOB NO .175.
3. IF REQUIRED BY THE ALLOTTEE TO ADD ANY ADDITIONAL WINDOW IN THE END WALL OF D.U. AS PER CLAUSE A7 THEN IT SHOULD BE ADDED AT THE LOCATION SHOWN AT W2
4. THE LOCATION, SIZE, CILL LVL. & LINTEL LVL. OF WINDOW SHOWN IN END WALL OF CORNER UNIT IS APPLICABLE OF ALL D.U. I.E. G.F. AND UPPER FLOORS SO THAT THE WINDOWS OF ALL FLOORS ARE VISIBLE IN SAME LINE IN ELEVATION.

S.NO.	DESCRIPTION	SIGN.	DATE
REVISIONS			

REVISIONS

CHIEF ARCHITECT

[Signature]
ARCHITECT 11/09/15

[Signature]
ASSTT. ARCHITECT

SCALE:

DATE:- 10-9-2015

DRAWN BY *[Signature]*

175

29

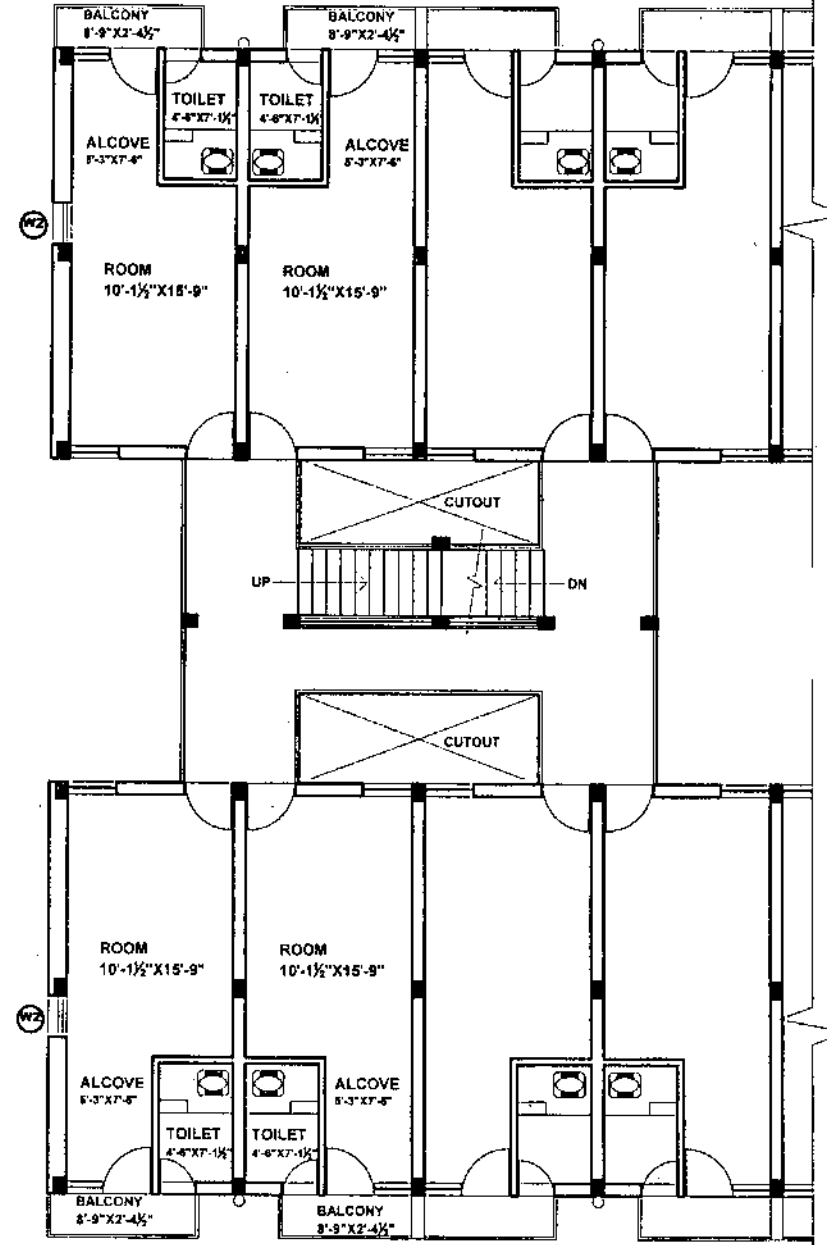
PLANNING ASSTT.

JOB NO

DRG. NO.

O.R.T. (SMALL FLATS) FOR SLUM DWELLERS
UNDER REHABILITATION PROGRAMME
DHANAS MALOY II, MAULIJAGRAN
TYPICAL FLOOR PLAN
CHANDIGARH (U.T.)

CHANDIGARH
HOUSING
BOARD



TYPICAL FLOOR PLAN

NOTE:-

1. THE PROPOSAL OF ADDITIONAL WINDOW OF 760 MM.(2'-6") WIDTH HAVING CILL LVL. 685 MM. (2'-3"), IN END WALL WITH LINTEL LVL SAME AS OTHER WINDOWS OF D.U. ALLOWED UNDER CLAUSE A7 OF NEED BASED CHANGES 7-7-2015 IS MARKED ON THE DRGS. BASED ON APPROVED DRG. NO. 13R1 JOB NO. 175.
2. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 13R1 JOB NO. 175.
3. IF REQUIRED BY THE ALLOTTEE TO ADD ANY ADDITIONAL WINDOW IN THE END WALL OF D.U. AS PER CLAUSE A7 THEN IT SHOULD BE ADDED AT THE LOCATION SHOWN AT W2.
4. THE LOCATION, SIZE, CILL LVL. & LINTEL LVL. OF WINDOW SHOWN IN END WALL OF CORNER UNIT IS APPLICABLE OF ALL D.U. I.E. G.F. AND UPPER FLOORS SO THAT THE WINDOWS OF ALL FLOORS ARE VISIBLE IN SAME LINE IN ELEVATION.

S.NO.	DESCRIPTION	SIGN	DATE
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REVISIONS

CHIEF ARCHITECT

ARCHITECT 11/2015 *Shashi Thakur*
ASSIST ARCHITECT

SCALE: DATE: 14.05.15

PLANNING ASST.	175	38
DRAWING ASST.	175	38
DATE: 14.05.15	JOB NO.	DWG. NO.

ORT UNDER REHABILITATION
SCHEME IN SECTOR WEST OF 38,
49, 56 (AMBEDKAR AWAS YOJNA)
RAM DARBAR

CHANDIGARH HOUSING BOARD

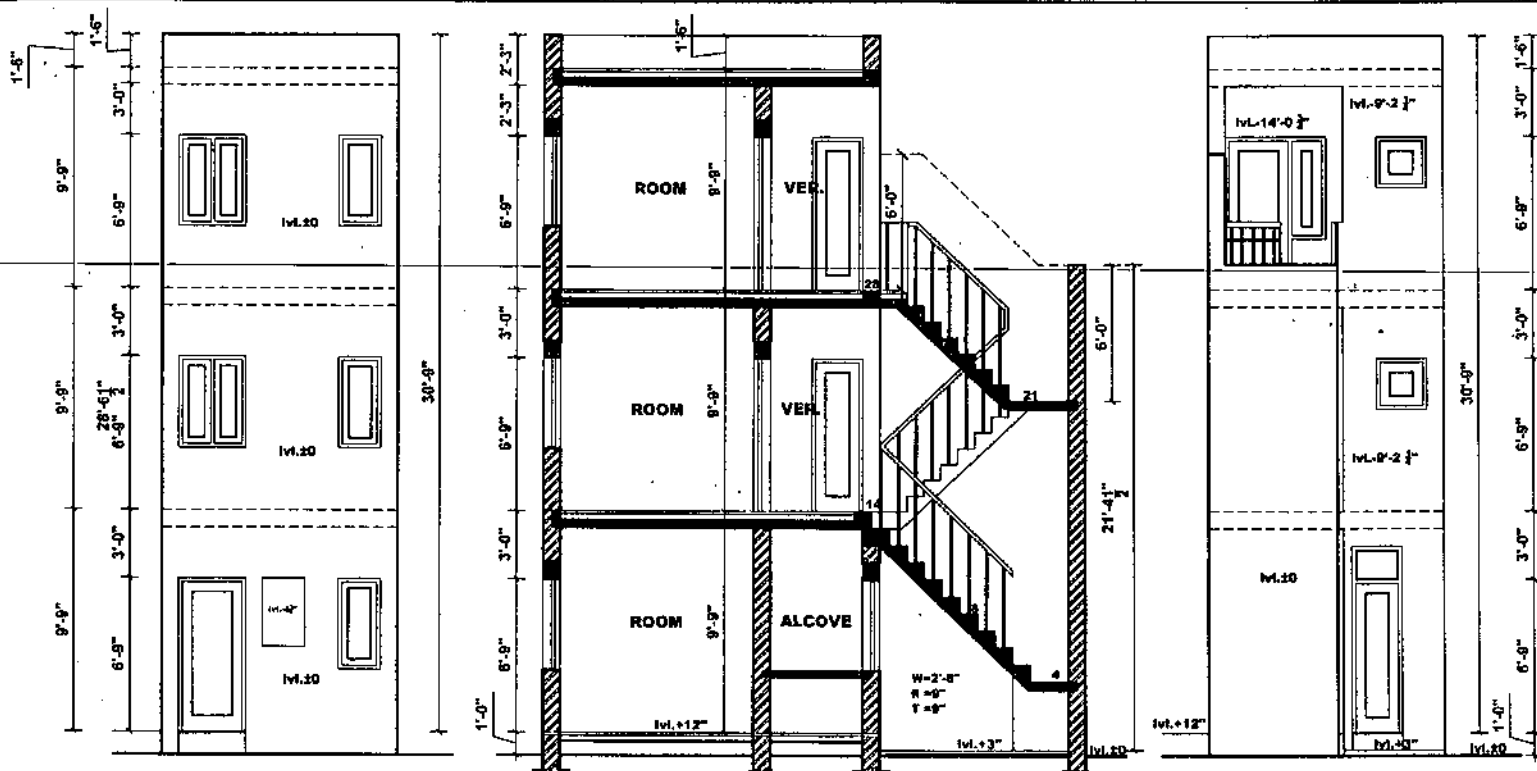
NOTES:-

- 1) THIS DRAWING IS THE PROPERTY OF THE CHB, CHD. AND MUST NOT BE COPIED, ALTERED OR TRACED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
- 2) NO RAINWATER PIPE, SOIL PIPE, VENTILATING PIPE OR ANY OTHER PLUMBING WORK SHALL BE EXPOSED TO VIEW ON ANY FACE OF THE BUILDING.
- 3) NO APPLIED DECORATION OF ANY SORT LIKE THE CROSS, SHASTIKA ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
- 4) INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHD. HOUSING BOARD.
- 5) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHERWISE INDICATED.
- 6) UNBUILT PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEES IN ACCORDANCE WITH THIS STANDARD DESIGN.
- 7) THIS STANDARD DESIGN SHEET ILLUSTRATE THE STANDARD DESIGN AND THE MAXIMUM PERMISSIBLE SITE COVERAGE IN RESPECT OF THESE HOUSES.
- 8) THE COST OF COMMON WALLS SHALL BE SHARED PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
- 9) NO ADVERTISEMENT IN WHAT-SO-EVER FROM, KIND OR MANNER, WHETHER THE NAME OF THE PERSON OR ALONG THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE DESIGN AND SPECIFICATIONS.
- 10) NO CANTILEVER, CHAJJA OR ARCHITREVE OR BAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
- 11)

JOINERY DETAIL:-

Type	Size	Cill
DD	4'-6" X 6'-0"	
DD1	3'-9" X 6'-9"	
D	3'-0" X 6'-9"	
D1	2'-3" X 6'-9"	
D2	2'-7 1/2" X 6'-9"	
D1/V	2'-3" X 6'-3"	
W1	1'-10 1/2" X 4'-0"	CILL=2'-9"
W2	2'-3" X 2'-3"	CILL=4'-6"
W3	3'-0" X 4'-0"	CILL=2'-9"
N1	1'-10 1/2" X 3'-0"	CILL=3'-9"
N4	2'-6" X 4'-6"	CILL=2'-9"

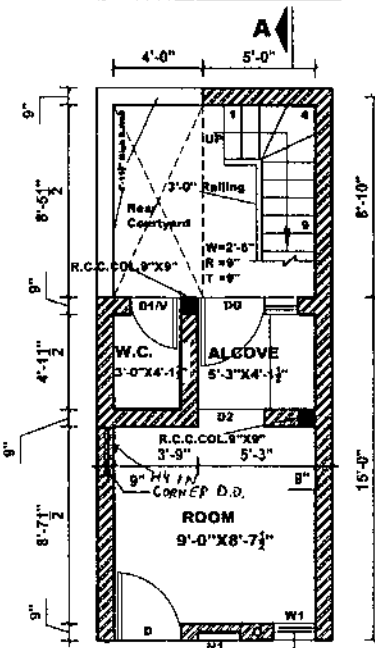
S.NO.	DESCRIPTION	SIGN.	DATE
REVISIONS			
STRUCTURE. ENG.	CHIEF ARCHITECT.	SENIOR ARCHITECT.	
ELECT. ENGINEER.	ARCHITECT.	ASST. ARCHITECT.	
FIRE FIGHTING.	CHECKED BY	JOB NO.	DRG. NO.
PH. ENGINEER.	STANDARD DESIGN OF HOUSE AT (Three Storiad) MALOYA COLONY & DHANAS. (PLOT SIZE = 9'-9" X 24'-0")		
PLAN, ELEVATION & SECTION			



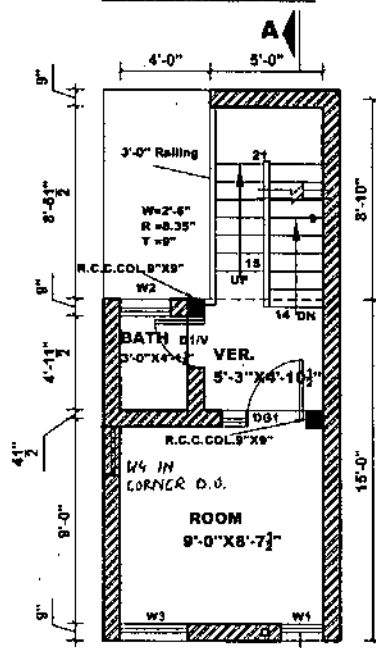
FRONT ELEVATION

SECTION AT A-A

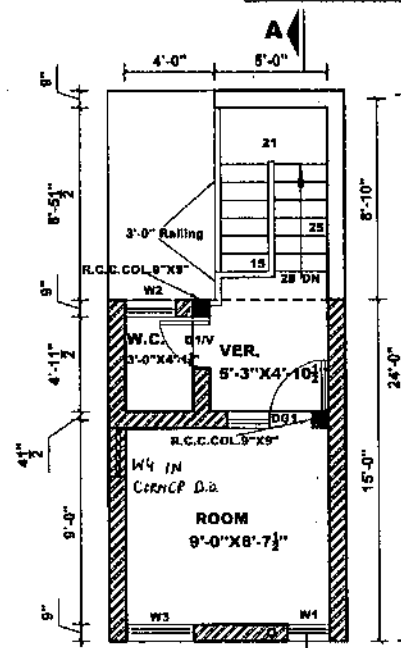
REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

CHANDIGARH HOUSING BOARD

NOTES:-

- 1) THIS DRAWING IS THE PROPERTY OF THE CHB, CHD, AND MUST NOT BE COPIED, ALTERED OR TRACED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
- 2) NO RAINWATER PIPE, SOIL PIPE, VENTILATING PIPE OR ANY OTHER PLUMBING WORK SHALL BE EXPOSED TO VIEW ON ANY FACE OF THE BUILDING.
- 3) NO APPLIED DECORATION OF ANY SORT LIKE THE CROSS, SWASTIKA ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
- 4) INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHD, HOUSING BOARD.
- 5) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHERWISE INDICATED.
- 6) UNSUIT PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEES IN ACCORDANCE WITH THIS STANDARD DESIGN.
- 7) THIS STANDARD DESIGN SHEET ILLUSTRATE THE STANDARD DESIGN AND THE MAXIMUM PERMISSIBLE SITE COVERAGE IN RESPECT OF THESE HOUSES.
- 8) THE COST OF COMMON WALLS SHALL BE SHARED PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
- 9) NO ADVERTISEMENT IN WHAT-SO-EVER FORM, KIND OR MANNER, WHETHER THE NAME OF THE PERSON OR ALONG THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE DESIGN AND SPECIFICATIONS.
- 10) NO CANTILEVER, CHALJA OR ARCHITREVE OR BAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
- 11)

JOINERY DETAIL:-

Type	Size	Cill
DG	6'-3" X 8'-9"	
D1	3'-0" X 8'-9"	
D2	2'-3" X 8'-9"	
V	1'-9" X 1'-8"	6'-8"
W	1'-8" X 3'-9"	3'-0"
W1	2'-7 1/2" X 2'-3"	4'-8"
W2	3'-0" X 3'-9"	3'-0"
W3	3'-0" X 2'-3"	4'-6"
W4	2'-6" X 4'-0"	2'-9"

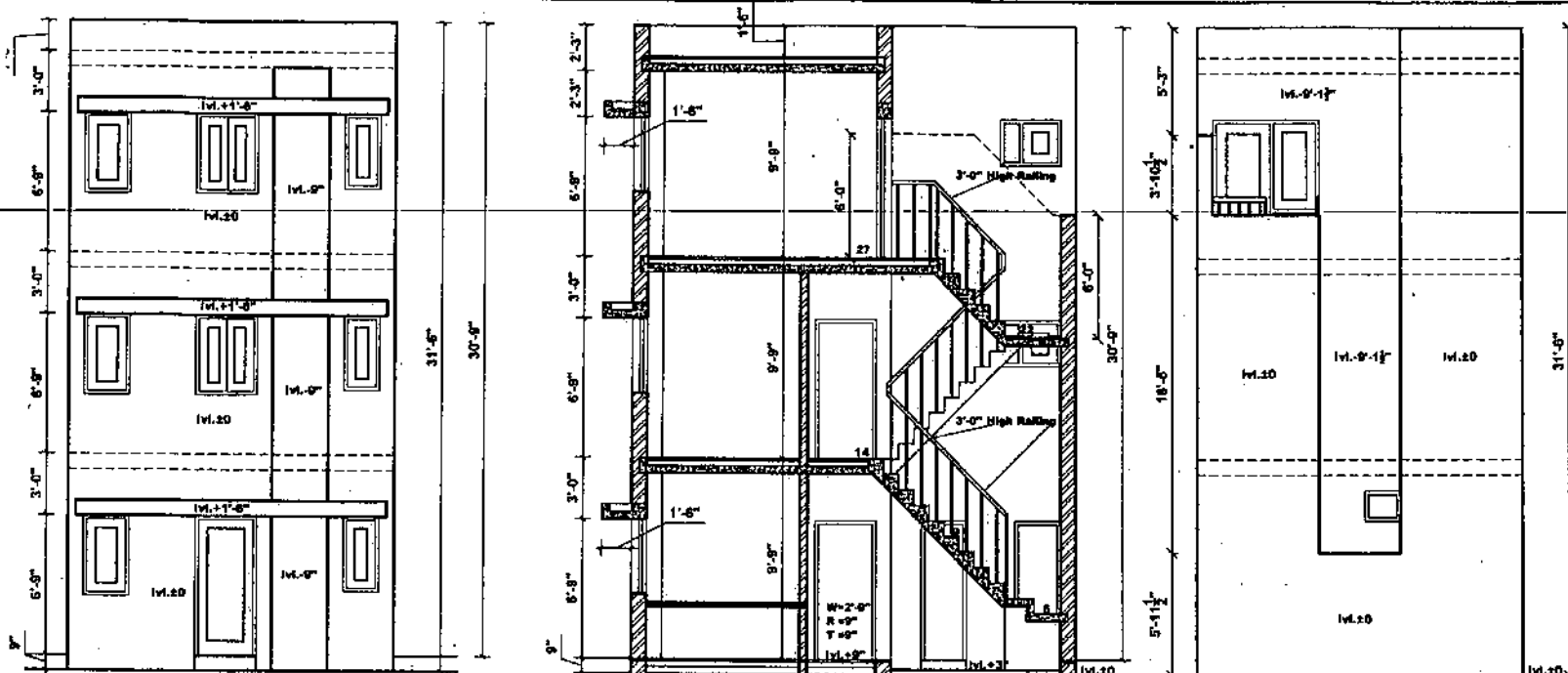
S.NO.	DESCRIPTION	SIGN.	DATE
REVISIONS			

STRUCTURE. ENG.	CHIEF ARCHITECT.	SENIOR ARCHITECT.
ELECT. ENGINEER.	ARCHITECT.	ASST. ARCHITECT.

SCALE: 1/4" = 1'-0"	DATE: 15-06-2013
(L.Sankh) DRAWN BY: <i>Prakash</i>	

FIRE FIGHTING.	CHECKED BY:	JOB NO. 87	DRG. NO. 3
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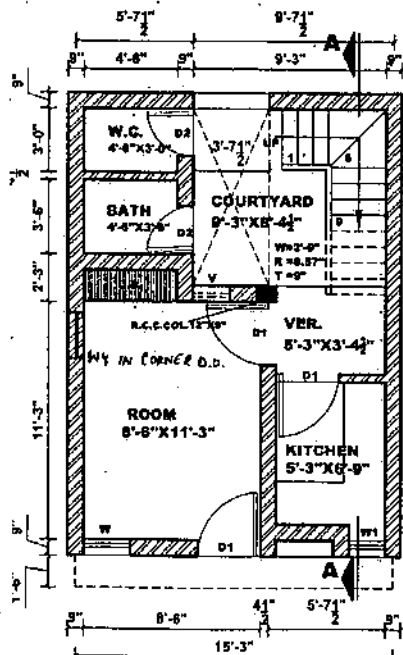
STANDARD DESIGN OF SITES AND SERVICES SCHEME DHANAS AND KARSAN. (PLOT SIZE = 15'-3" X 21'-5")
PLAN, ELEVATION & SECTION



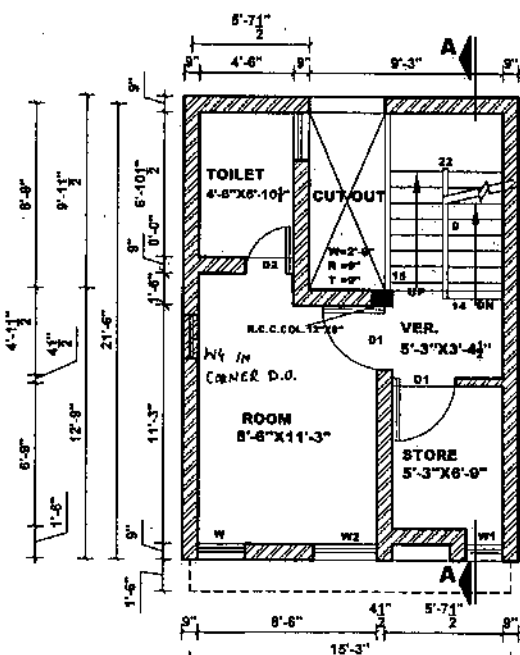
FRONT ELEVATION

SECTION AT A-A

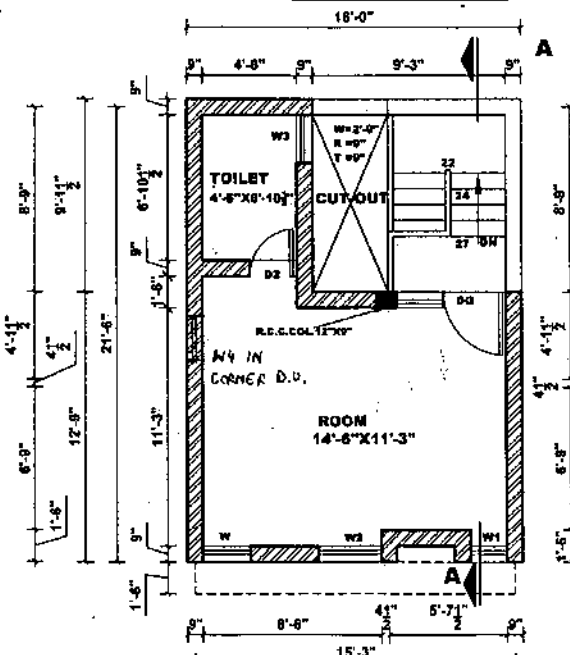
REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



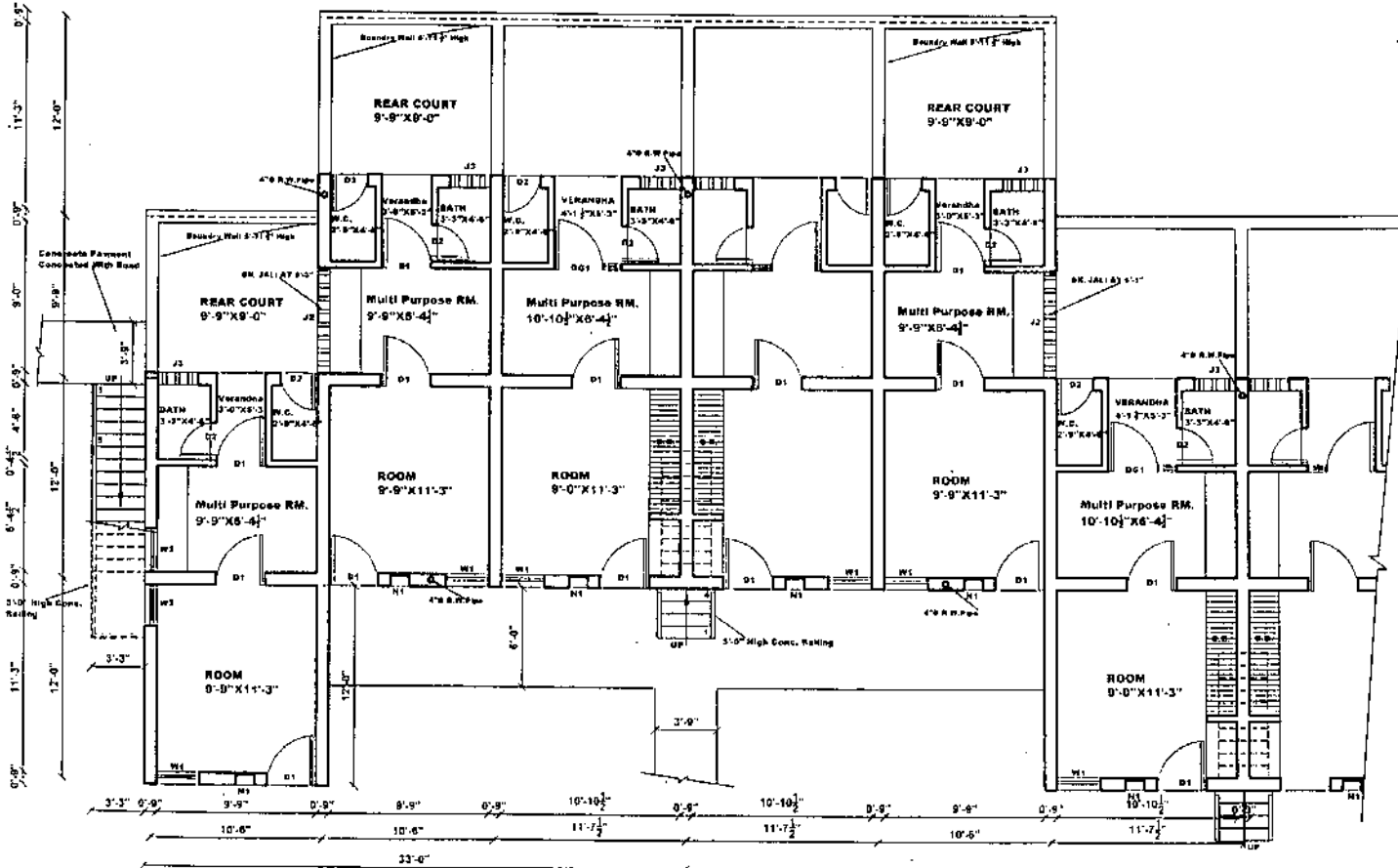
SECOND FLOOR PLAN

CHANDIGARH HOUSING BOARD

Notes:-

- 1) THIS DRG. IS COMPLEMENTARY TO DRG. NO. _____ OF JOB NO. _____ AND FORMS PART OF THE SET OF DRGS. ILLUSTRATING THE STANDARD DESIGNS APPLICABLE TO SUCH SITES AND AREAS AS PER INDICATED ON THE RESPECTIVE ZONING PLANS FOR THE CONSTRUCTION OF _____ HOUSES CONSTRUCTED BY CHB.
- 2) THIS DRAWING IS THE PROPERTY OF THE CHB, CHD. AND MUST NOT BE COPIED, ALTERED OR TRACED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
- 3) NO RAIN WATER PIPE, SOIL PIPE, VENTILATING PIPE OR ANY OTHER PLUMBING WORK SHALL BE EXPOSED TO VIEW ON ANY FACE OF THE BUILDING.
- 4) NO APPLIED DECORATION OF ANY SORT LIKE THE CROSS, SWASTIKA ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
- 5) INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHD HOUSING BOARD.
- 6) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHER WISE INDICATED.
- 7) UNBUILT PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEE IN ACCORDANCE WITH THIS STANDARD DESIGN.
- 8) THIS STANDARD DESIGN SHEET ILLUSTRATE THE STANDARD DESIGN AND THE MAXIMUM PERMISSIBLE SITE COVERAGE IN RESPECT OF THESE HOUSES.
- 9) THE COST OF COMMON WALLS SHALL BE SHARED PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
- 10) NO ADVERTISEMENT IN WHAT-SO-EVER FORM, MUND OR MANNER, WHETHER THE NAME OF THE PERSON OR A FIRM SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE PREMISES DISPLAYED IN PAINTED NUMERALS ON SPACE ASSIGNED FOR THE PURPOSES.
- 11) NO CANTILEVER, CHAJJA OR ARCHITRAVE OR BAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
- 12) THE EXTERNAL FACE OF THE BRICK MASONRY OF EXTERNAL WALL SHALL BE FINISHED IN DEEP STUCK LIME SURKHI. POINTING, PAINTING OF ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE WALL, CHAJJA ETC.
- 13) DESIGN WITH TILES & BRICKS OR APPLIED DECORATION IN PLASTER ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING.
- 14) NO DEVIATION IN THE EXTERNAL FACADES SHALL BE ALLOWED.
- 15) ALL DOORS & WINDOWS SHALL BE IN WOODS SHALL CONFORM TO SIZES AS INDICATED IN THE SCHEDULE OF JOINERY.
- 16) THE PROPOSED FUTURE ROOM IS A SINGLE STOREY ZONE.
- 17) BEFORE UNDERTAKING ANY CONSTRUCTION THESE STANDARD DRGS. SHALL GO TO SANCTIONED FROM THE CHB. THROUGH THE REGD. QUALIFIED ARCHITECT WHO SHALL ALSO SUPERVISE THE CONSTRUCTION.

Joinery for Future Const:
 W3 2'-6" x 4'-6" 2'-3"



GROUND FLOOR PLAN

NOTE:-
 1. THIS DRAWING IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET / STORE ALLOWED UNDER NEEDBASE CHANGES 23-03-2010.
 2. THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 AND CLAUSE 15 (II) OF NEED BASED CHANGES 23-3-2010 IS MARKED ON THE DRGS. BASED ON APPROVED DRG. NO. 7, JOB NO. 80
 3. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 7, JOB NO. 80.

Civil Engineer.			
Structure Engineer.			
REVISIONS			
	S.NO.	DESCRIPTION	SIGN. DATE
Chief Architect.			Senior Architect.
Elect. Engineer.			Asstt. Architect.
Superintending Engineer CHB.			CHB.
Fire Fighting.	SCALE: (R. Sandhu) DRAWN BY: <i>Rajesh</i> (Shashi Thakur) PLACING ASSTT. <i>Shashi</i>	DATE: 23-02-2015	60 JOB NO.
			20 ORG. NO.
Ph. Engineer.	STANDARD DESIGN OF NEEDBASE CHANGE FOR L. I. G. HOUSES AT DHANAS, CHANDIGARH.		

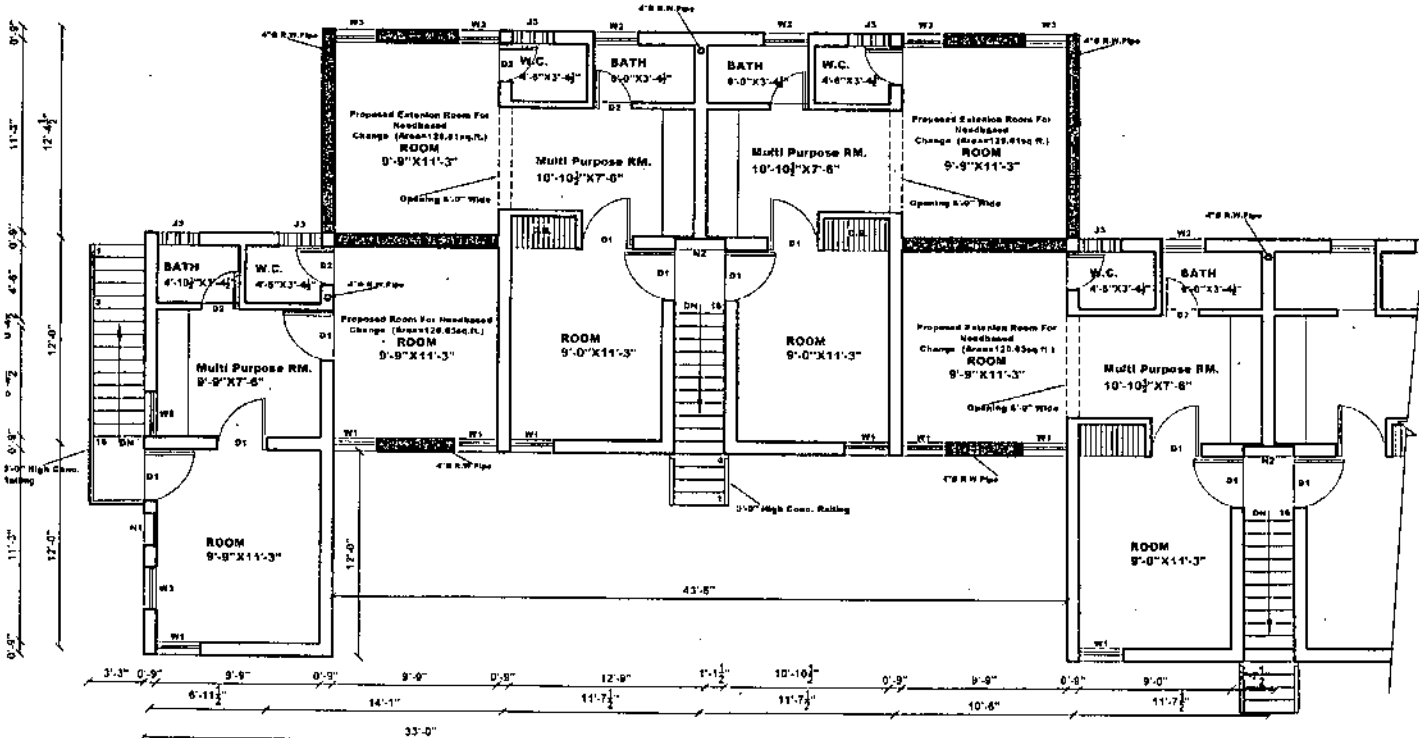
CHANDIGARH HOUSING BOARD

Notes:-

- 1) THIS DRG. IS COMPLEMENTRY TO DRG. NO. _____ OF JOB NO. _____ AND FORMS PART OF THE SET OF DRGS. ILLUSTRATING THE STANDARD DESIGNS APPLICABLE TO SUCH SITES AND AREAS AS PER INDICATED ON THE RESPECTIVE ZONING PLANS FOR THE CONSTRUCTION OF _____ HOUSES CONSTRUCTED BY CHB.
- 2) THIS DRAWING IS THE PROPERTY OF THE CHB, CHD, AND MUST NOT BE COPIED, ALTERED OR TRACED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
- 3) NO RAIN WATER PIPE, SOIL PIPE, VENTILATING PIPE OR ANY OTHER PLUMBING WORK SHALL BE EXPOSED TO VIEW ON ANY FACE OF THE BUILDING.
- 4) NO APPLIED DECORATION OF ANY SORT LIKE THE CROSS, SWASTIKA ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
- 5) INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHD, HOUSING BOARD.
- 6) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHER WISE INDICATED.
- 7) UNBUILT PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEES IN ACCORDANCE WITH THIS STANDARD DESIGN.
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- 10) NO ADVERTISEMENT IN WHAT-SO-EVER FORM, KIND OR MANNER, WHETHER THE NAME OF THE PERSON OR A FIRM SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE PREMISES DISPLAYED IN PAINTED NUMERALS ON SPACE ASSIGNED FOR THE PURPOSES.
- 11) NO CANTILEVER, CHAJJA OR ARCHITRAVE OR SAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.
- 12) THE EXTERNAL FACE OF THE BRICK MASONRY OF EXTERNAL WALL SHALL BE FINISHED IN DEEP STRUCK LIME SURKHI, POINTING, PAINTING OF ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE WALL, CHAJJA ETC.
- 13) DESIGN WITH TILES & BRICKS OR APPLIED DECORATION IN PLASTER ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING.
- 14) NO DEVIATION IN THE EXTERNAL FACEDS SHALL BE ALLOWED.
- 15) ALL DOORS & WINDOWS SHALL BE IN WOODS SHALL CONFORM TO SIZES AS INDICATED IN THE SCHEDULE OF JOINERY.
- 16) THE PROPOSED FUTURE ROOM IS A SINGLE STOREY ZONE.
- 17) BEFORE UNDERTAKING ANY CONSTRUCTION THESE STANDARD DRGS. SHALL GOT SANCTIONED FROM THE CHB, THROUGH THE REGD. QUALIFIED ARCHITECT WHO SHALL ALSO SUPERVISE THE CONSTRUCTION.

Joinery for future Const.
 W3 2 1/2" x 4 1/8" 2 1/3"

Civil Engineer.			
Structure Engineer.			
REVISIONS			
	S.NO.	DESCRIPTION	SIGN. DATE
Chief Architect.			Senior Architect.
Elect. Engineer.			Asstt. Architect. <i>[Signature]</i>
Fire Fighting.			CHB.
Ph. Engineer.			



FIRST FLOOR PLAN

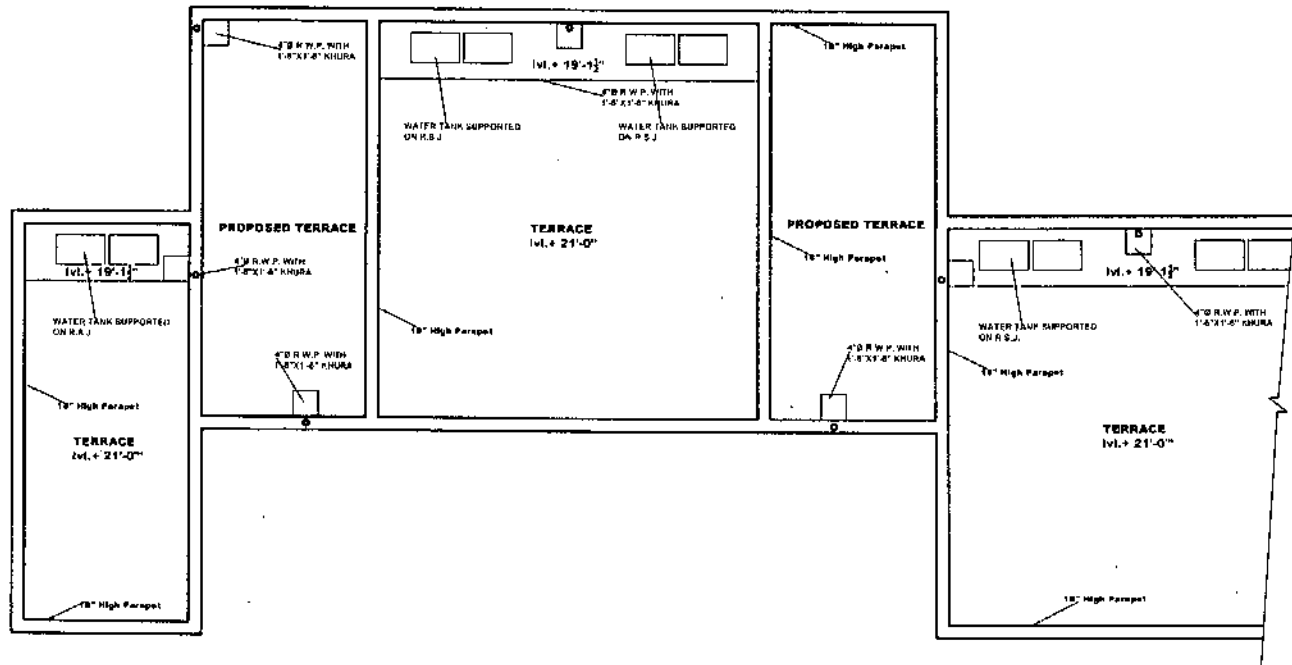
NOTE:-
 1. THIS DRAWING IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET / STORE ALLOWED UNDER NEEDBASE CHANGES 23-03-2010.
 2. THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 AND CLAUSE 15. (ii) OF NEED BASED CHANGES 23-3-2010 IS MARKED ON THE DRGS. BASED ON APPROVED DRG. NO. 7, JOB NO. 60
 3. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 7, JOB NO. 60.

STANDARD DESIGN OF NEEDBASE CHANGE FOR L. I. G. HOUSES AT DHANAS, CHANDIGARH.

CHANDIGARH HOUSING BOARD

Notes:-

- 1) THIS DRG. IS COMPLEMENTARY TO DRG. NO. _____ OF JOB NO. _____ AND FORMS PART OF THE SET OF DRGS. ILLUSTRATING THE STANDARD DESIGN APPLICABLE TO SUCH SITES AND AREAS AS PER INDICATED ON THE RESPECTIVE ZONING PLANS FOR THE CONSTRUCTION OF _____ HOUSES CONSTRUCTED BY CHB.
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- 5) INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHD, HOUSING BOARD.
- 6) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHERWISE INDICATED.
- 7) UNBUILT PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEES IN ACCORDANCE WITH THIS STANDARD DESIGN.
- 8) THIS STANDARD DESIGN SHEET ILLUSTRATE THE STANDARD DESIGN AND THE MAXIMUM PERMISSIBLE SITE COVERAGE IN RESPECT OF THESE HOUSES.
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- 10) NO ADVERTISEMENT IN WHAT SO-EVER FORM, KIND OR MANNER, WHETHER THE NAME OF THE PERSON OR A FIRM SHALL BE PERMITTED ON THE FACE OF THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE PREMISES DISPLAYED IN PAINTED NUMERALS ON SPACE ASSIGNED FOR THE PURPOSES.
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- 12) THE EXTERNAL FACE OF THE BRICK MASONRY OF EXTERNAL WALL SHALL BE FINISHED IN DEEP STRUCK LIME SURRHI, POINTING, PAINTING OF ANY OTHER FINISH SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE WALL, CHAJJA ETC.
- 13) DESIGN WITH TILES & BRICKS OR APPLIED DECORATION IN PLASTER ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING.
- 14) NO DEVIATION IN THE EXTERNAL FACADES SHALL BE ALLOWED.
- 15) ALL DOORS & WINDOWS SHALL BE IN WOODS SHALL CONFORM TO SIZES AS INDICATED IN THE SCHEDULE OF JOHNEY.
- 16) THE PROPOSED FUTURE ROOM IS A SINGLE STOREY ZONE.
- 17) BEFORE UNDERTAKING ANY CONSTRUCTION THESE STANDARD DRGS. SHALL NOT SANCTIONED FROM THE CHB, THROUGH THE REGD. QUALIFIED ARCHITECT WHO SHALL ALSO SUPERVISE THE CONSTRUCTION.



TERRACE FLOOR PLAN

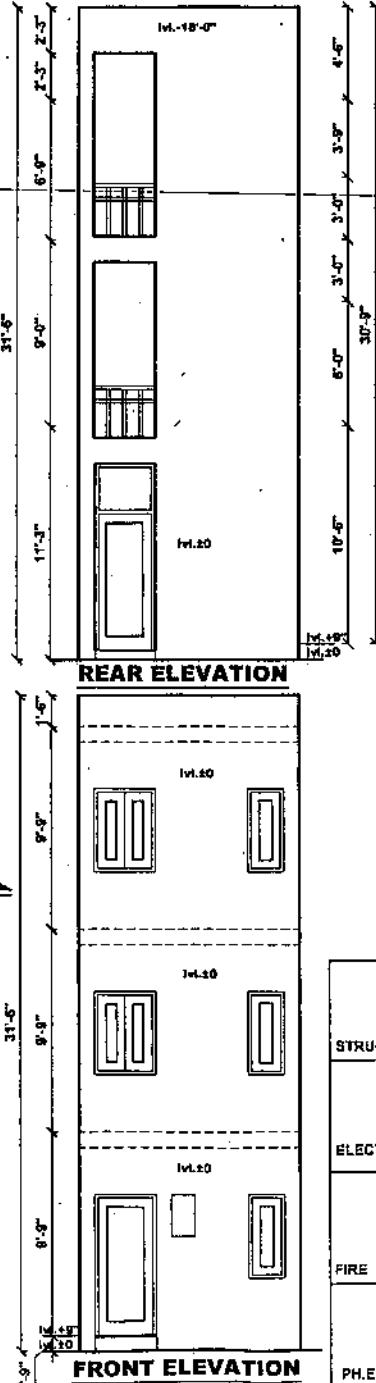
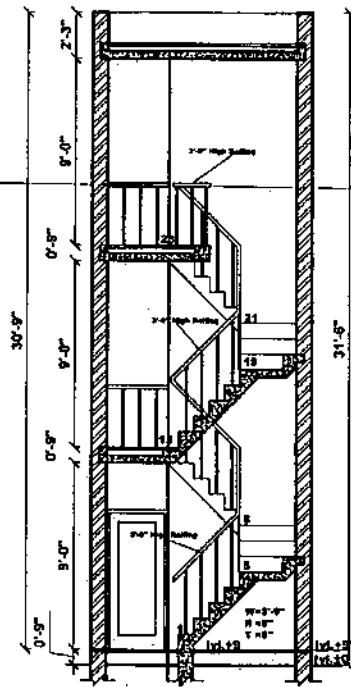
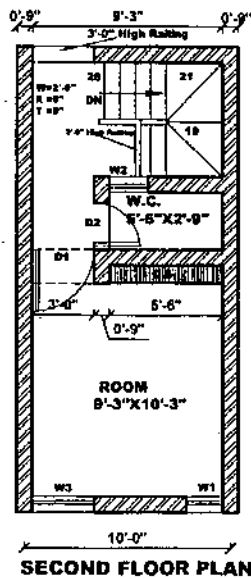
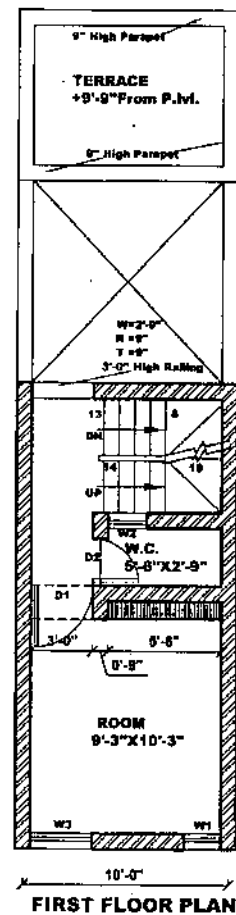
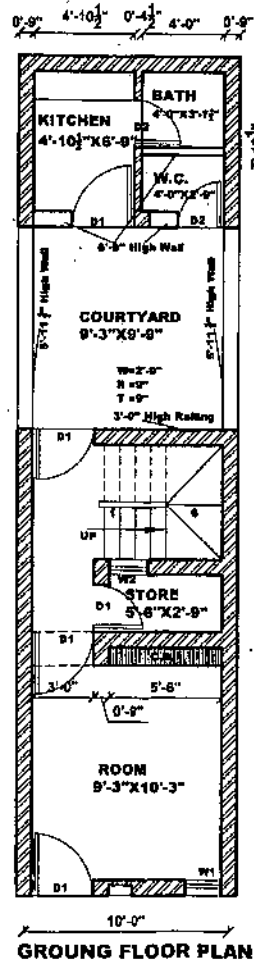
NOTE:-

1. THIS DRAWING IS ONLY FOR THE PURPOSE OF CONSTRUCTION OF ROOM / TOILET / STORE ALLOWED UNDER NEEDBASE CHANGES 23-03-2010.
2. THE PROPOSAL OF ADDITIONAL CONSTRUCTION UNDER CLAUSE A3 AND CLAUSE 15 (ii) OF NEED BASED CHANGES 23-3-2010 IS MARKED ON THE DRGS. BASED ON APPROVED DRG. NO. 8, JOB NO. 60
3. FOR ANY OTHER DETAIL / NOTES REF. DRG. NO. 8, JOB NO. 60.

Civil Engineer.			
Structure Engineer.			
Elect. Engineer.			
Fire Fighting.			
Ph. Engineer.			

S.NO.	DESCRIPTION	SIGN.	DATE
REVISIONS			
	Chief Architect.	Senior Architect.	
	Superintending Engineer CHB.	Asstt. Architect CHB.	
	SCALE:	DATE :- 25-02-2015	
	(R. Samrithi) DRAWN BY	60	22
	(Shashi Thakur) PLANNING ASSTT.	JOB NO.	DRG. NO.

STANDARD DESIGN OF NEEDBASE CHANGE FOR L. I. G. HOUSES AT DHANAS, CHANDIGARH.



CHANDIGARH HOUSING BOARD

NOTES:-

- 1) THIS DRAWING IS THE PROPERTY OF THE CHS, CHD. AND MUST NOT BE COPIED, ALTERED OR TRACED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE BOARD IN WRITING.
- 2) NO RAINWATER PIPE, SOIL PIPE, VENTILATING PIPE OR ANY OTHER PLUMBING WORK SHALL BE EXPOSED TO VIEW ON ANY FACE OF THE BUILDING.
- 3) NO APPLIED DECORATION OF ANY SORT LIKE THE CROSS, SWASTIKA ETC. SHALL BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL.
- 4) INTERNAL CHANGES MAY BE ALLOWED SUBJECT TO PRIOR APPROVAL OF THE CHD. HOUSING BOARD.
- 5) NO PROJECTION SHALL BE ALLOWED ON GOVERNMENT LAND OR AS OTHER WISE INDICATED.
- 6) UNBUILT PORTION OF THE HOUSE SHALL BE COMPLETED BY THE ALLOTTEES IN ACCORDANCE WITH THIS STANDARD DESIGN.
- 7) THIS STANDARD DESIGN SHEET ILLUSTRATE THE STANDARD DESIGN AND THE MAXIMUM PERMISSIBLE SITE COVERED IN RESPECT OF THESE HOUSES.
- 8) THE COST OF COMMON WALLS SHALL BE SHARED PROPORTIONATELY BY THE RESPECTIVE ALLOTTEES.
- 9) NO ADVERTISEMENT IN WHAT-SO-EVER FORM, KIND OR MANNER, WHETHER THE NAME OF THE PERSON OR ALONG THE BUILDING OR ON OR ALONG THE BOUNDARY WALL EXCEPT THE NUMBER OF THE DESIGN AND SPECIFICATIONS.
- 10) NO CANTILEVER, CHAJJA OR ARCHITREVE OR BAND SHALL PROJECT BEYOND THAT AS SHOWN IN THE DRAWING.

JOINERY DETAIL:-

Type	Size	Chil
D1	3'-0" X 6'-9"	
D1	2'-3" X 9'-0"	
W1	1'-9" X 4'-0"	2'-9"
W2	1'-10 1/2" X 2'-3"	4'-6"
W3	3'-0" X 4'-0"	2'-9"

S.NO.	DESCRIPTION	SIGN.	DATE
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REVISIONS

STRUCTURE. ENG.

CHIEF ARCHITECT.

SENIOR ARCHITECT.

ELECT. ENGINEER

ARCHITECT.

ASST. ARCHITECT.

FIRE FIGHTING.

CHECKED BY

JOB NO.

DRG. NO.

STANDARD DESIGN OF E.W.S. HOUSE AT DHANAS.

(PLOT SIZE = 10'-0" X 40'-0")

PLAN, ELEVATION & SECTION

PH. ENGINEER.